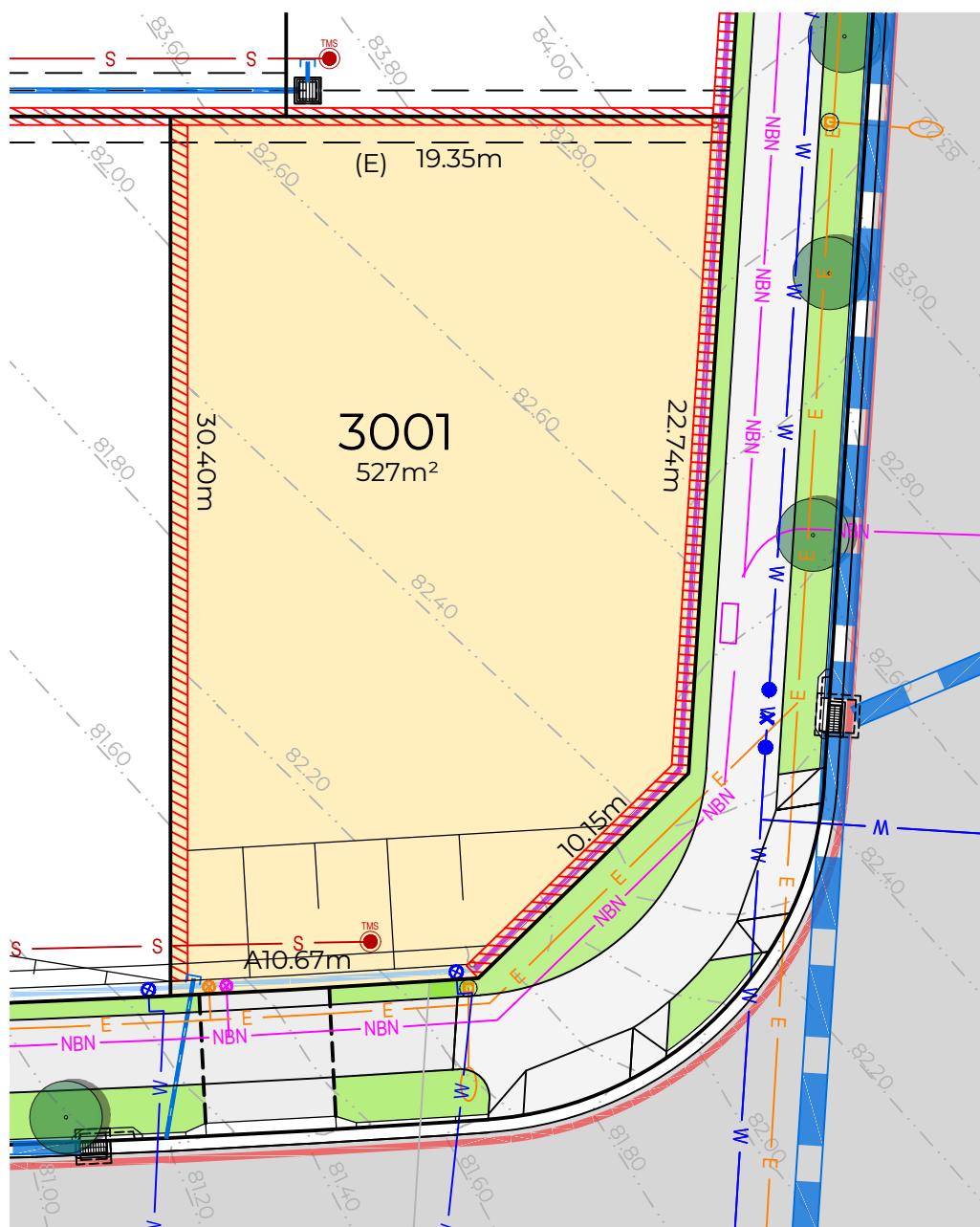


# Lot 3001

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

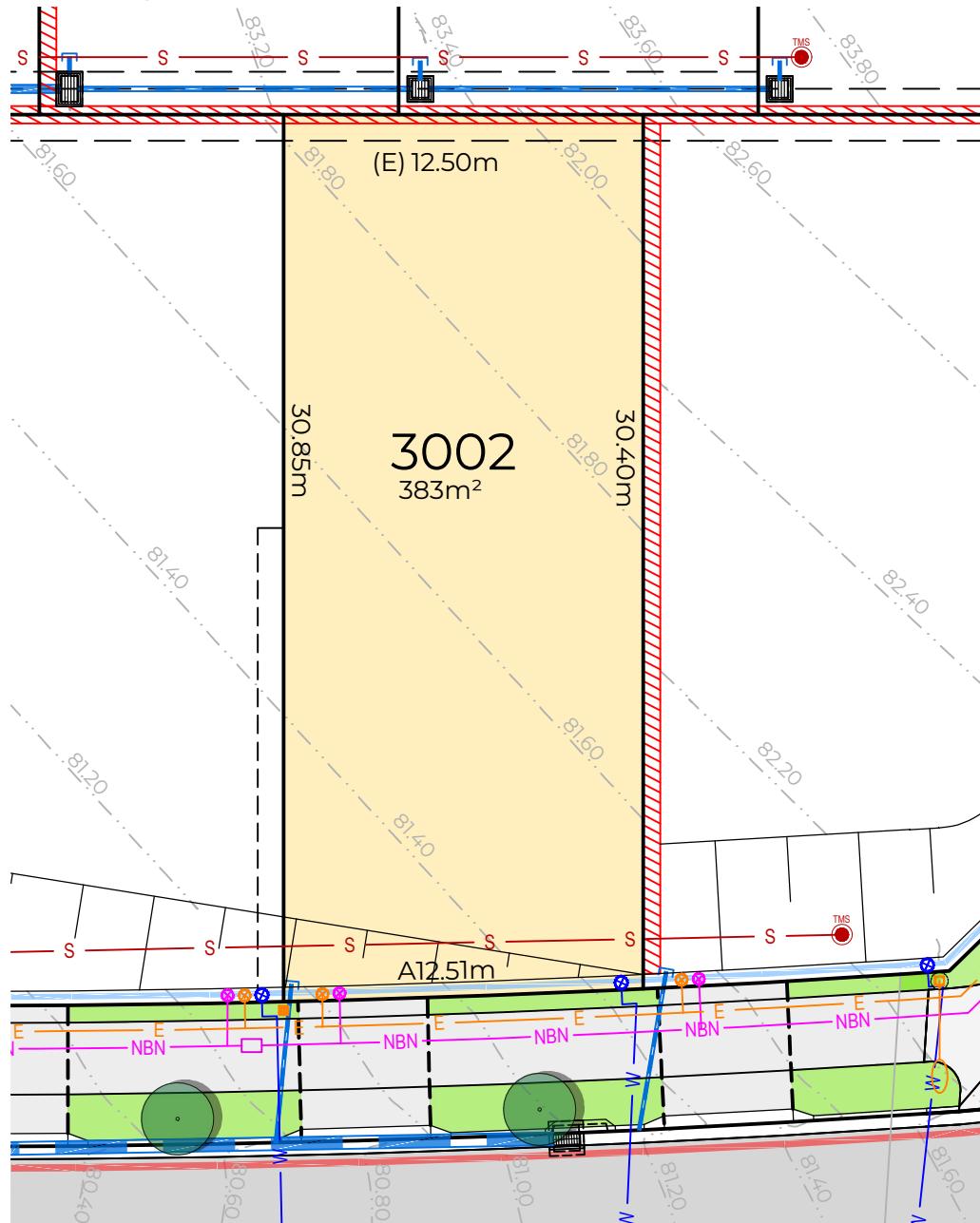
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

**Disclaimer** The information provided in this layout plan is approximate only and intended as a guide to assist with further planning by potential purchasers. Dimensions and location of services and services infrastructure may vary in accordance with the Contract for Sale and Purchase of Land in respect of this lot and are subject to survey. Birling Estate has used reasonable endeavours to ensure that the information in this plan reflects the intended layout and locations as at the date of preparation. A purchaser should not rely on this plan for building purposes and further investigations should be carried out and an update sought before designing any improvements. References to "Birling Estate" include Birling Estate Developments Pty Ltd ACN 668 807 663, Birling Estate Pty Ltd ACN 657 548 073, and their holding company Cameron Brae Pty Ltd ACN 000 637 525. Prepared 4 September 2025.

# Lot 3002

## STAGE 03 | THE HILLTOP



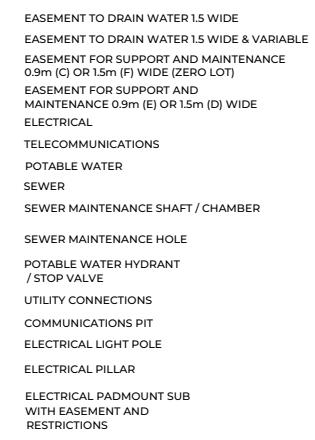
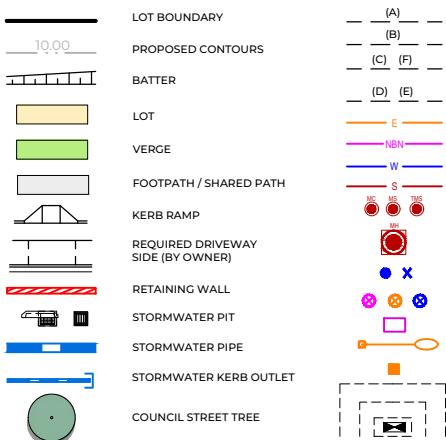
# BIRLING

# Lot Plan

02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556



**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by 

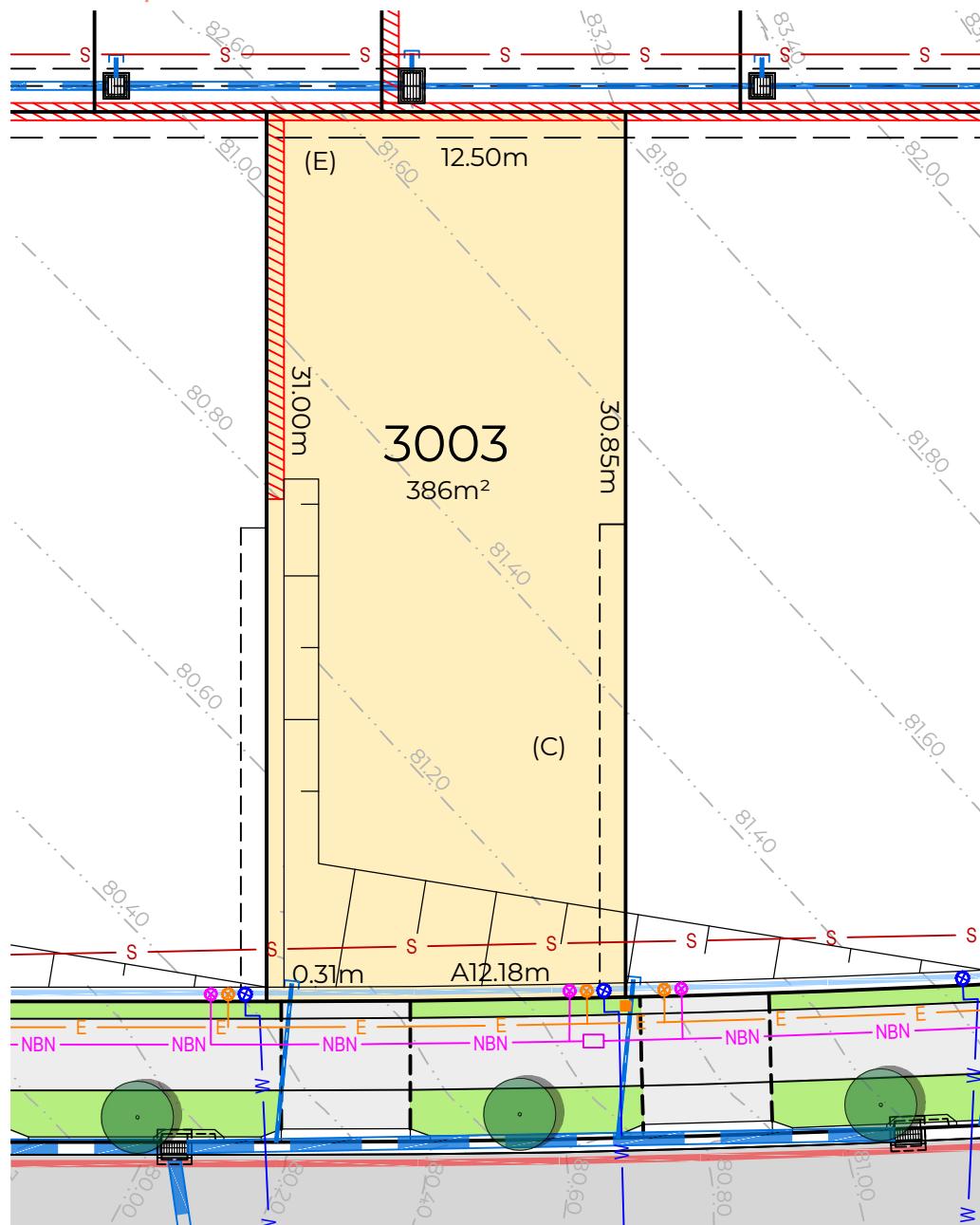


0 5m  
SCALE 1:250

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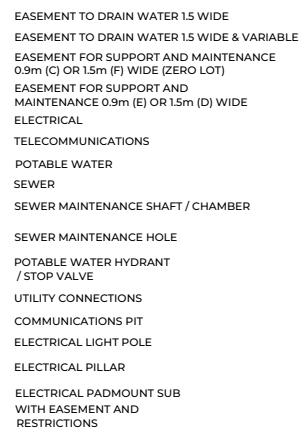
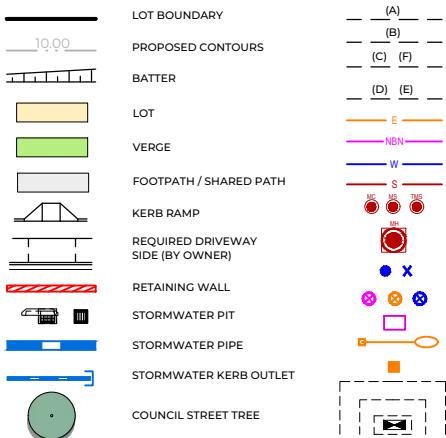
# Lot 3003

## STAGE 03 | THE HILLTOP



# BIRLING

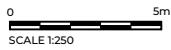
# Lot Plan



**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by



02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

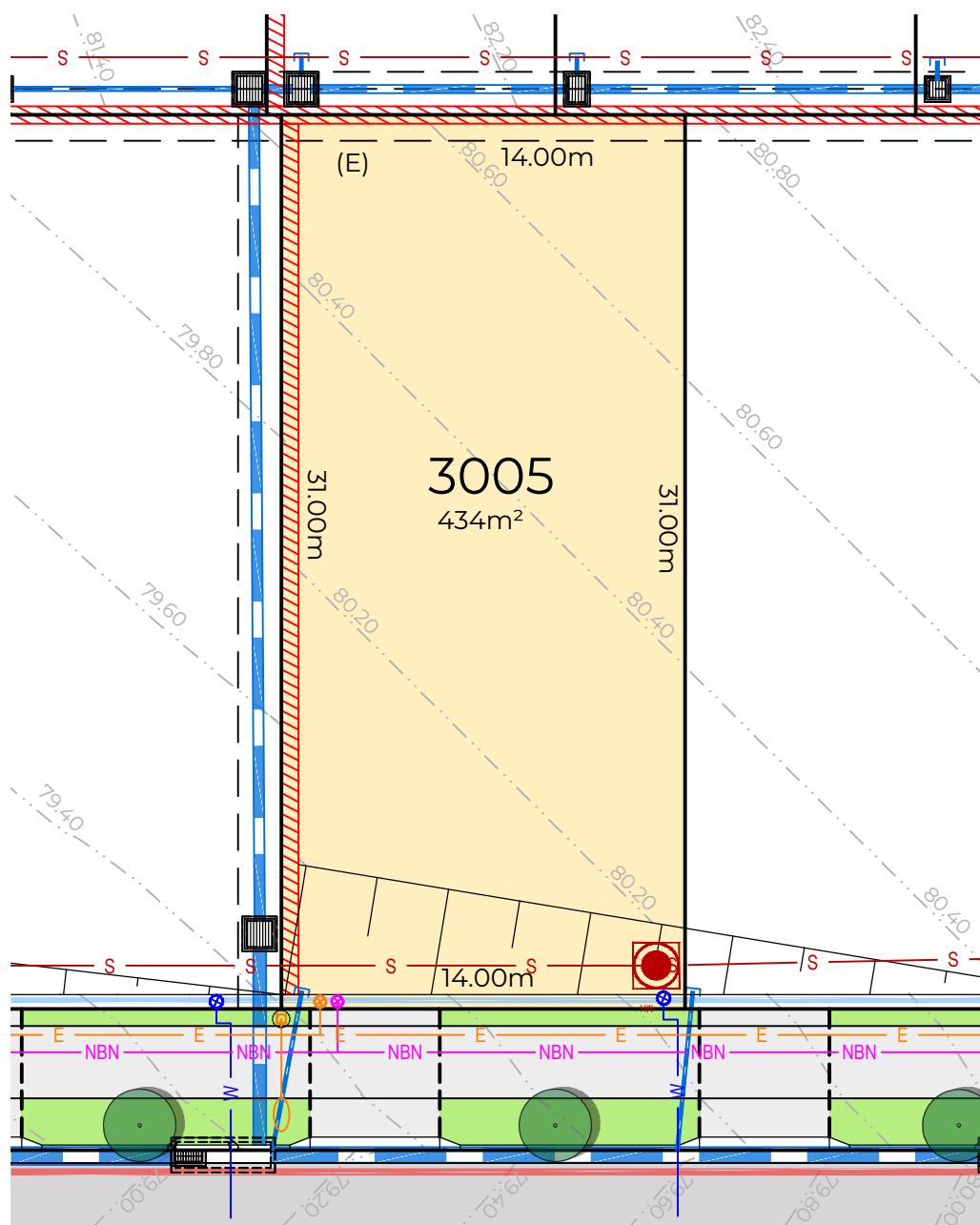
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# Lot 3005

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan

EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE  
0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND  
MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by 

A scale bar and a north arrow are located in the bottom left corner of the map. The scale bar is a horizontal line with tick marks and the text 'SCALE 1:250'. The north arrow is a triangle with a circle around it, pointing upwards.

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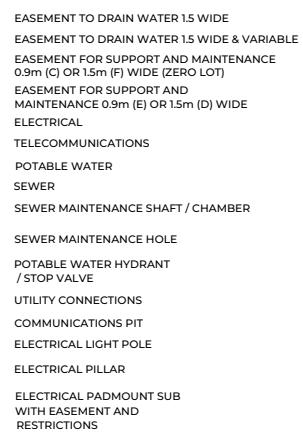
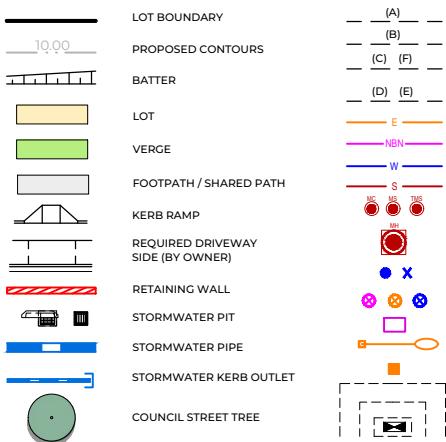
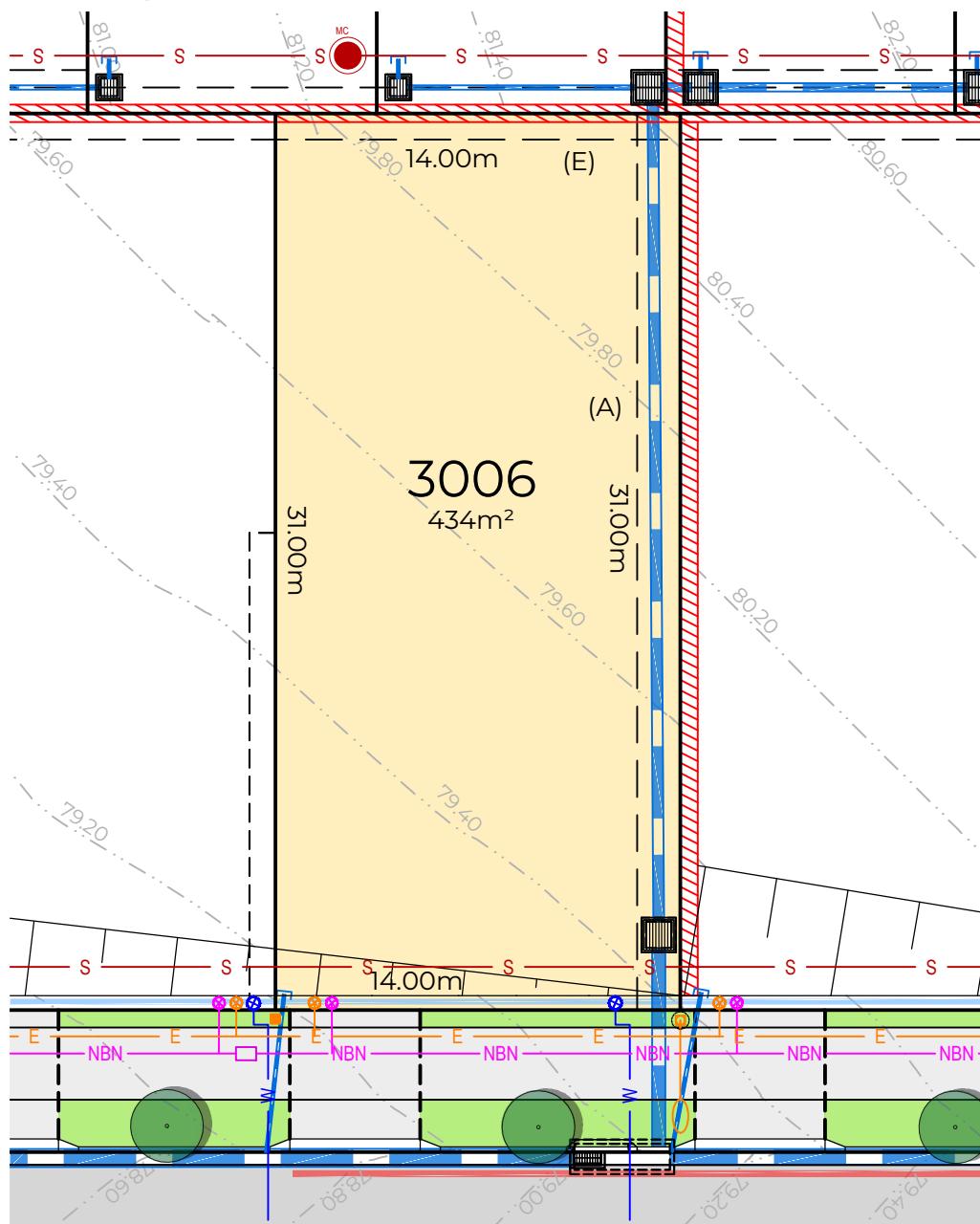
02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3006

## STAGE 03 | THE HILLTOP



**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by 



A scale bar at the bottom left of the map, showing a horizontal line with '0' at the left end and '5m' at the right end, with a midpoint mark. Below it is the text 'SCALE 1:250'.

02 9050 0555

## SALES CENTRE

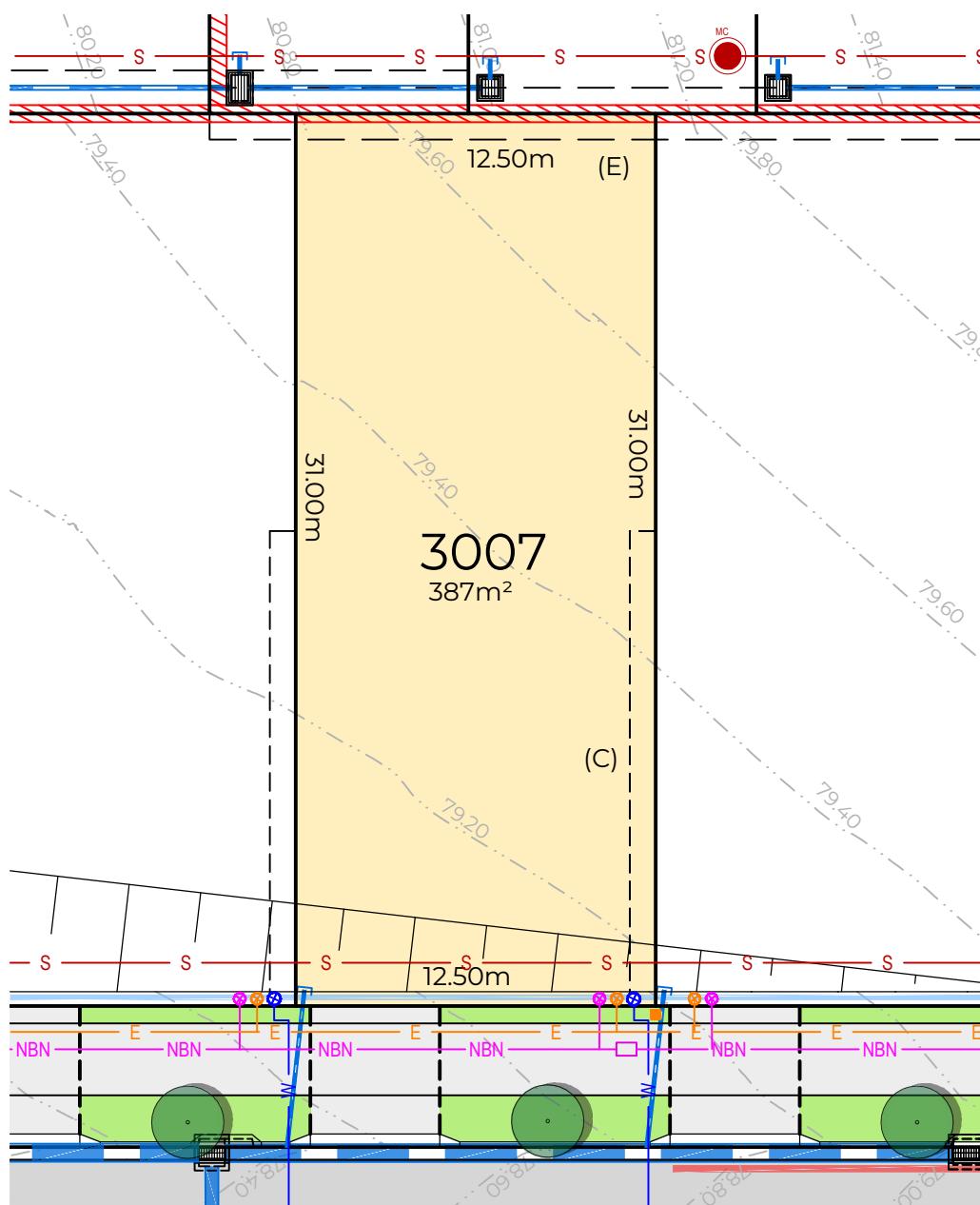
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3007

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

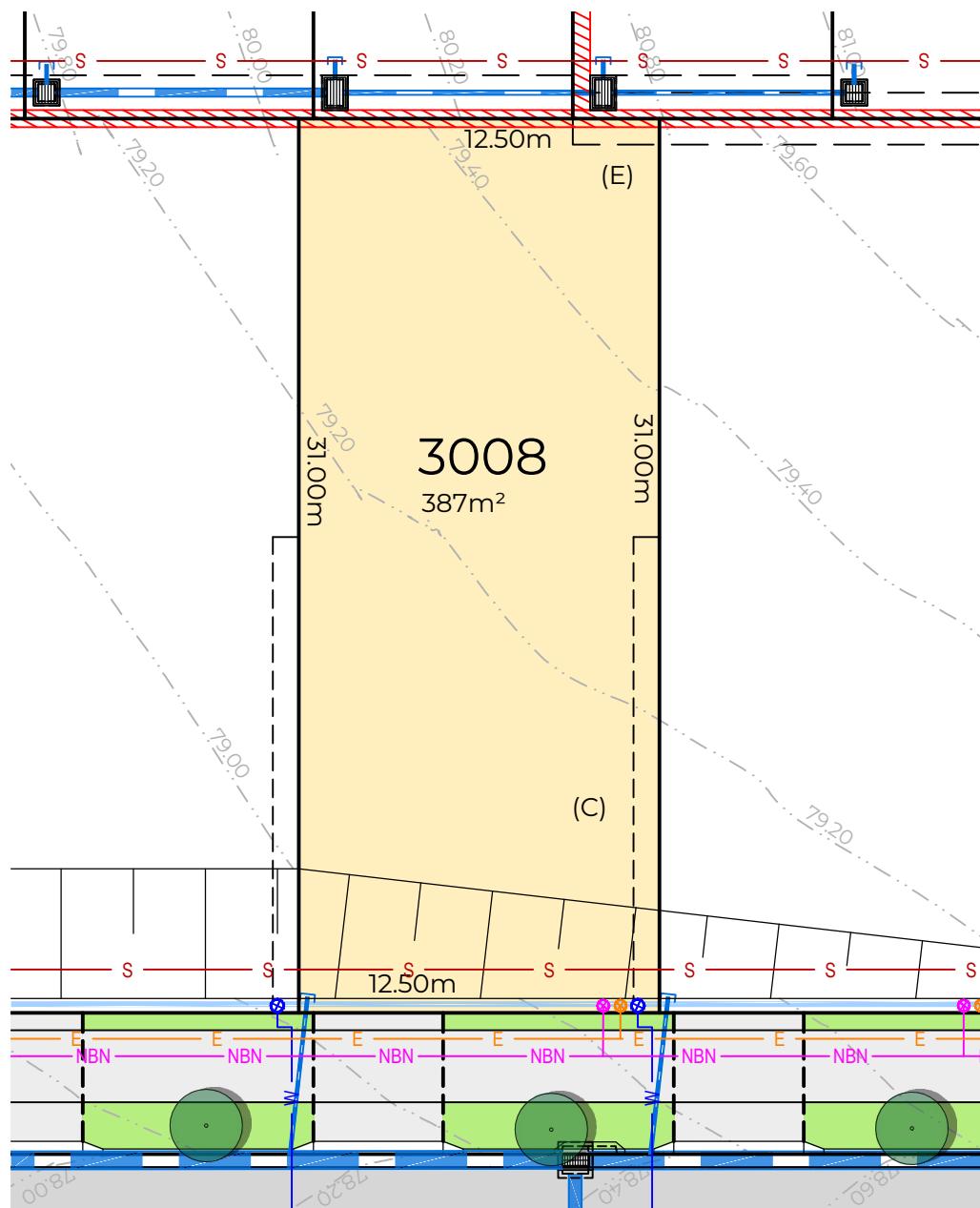
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3008

## STAGE 03 | THE HILLTOP



**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** Type 3 front fence restriction by owner as denoted by 

# Lot Plan

02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

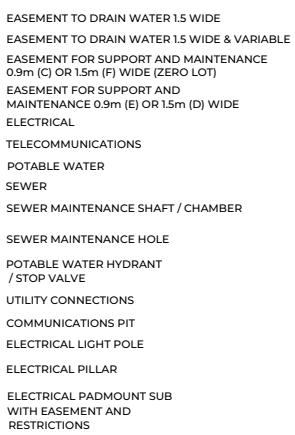
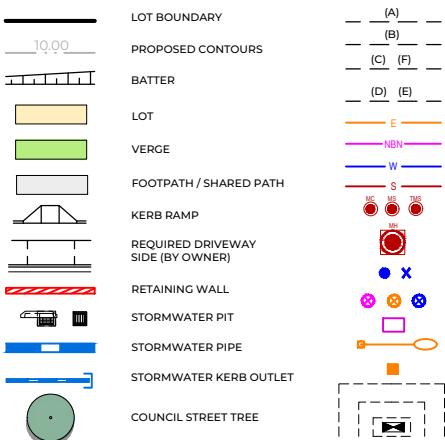
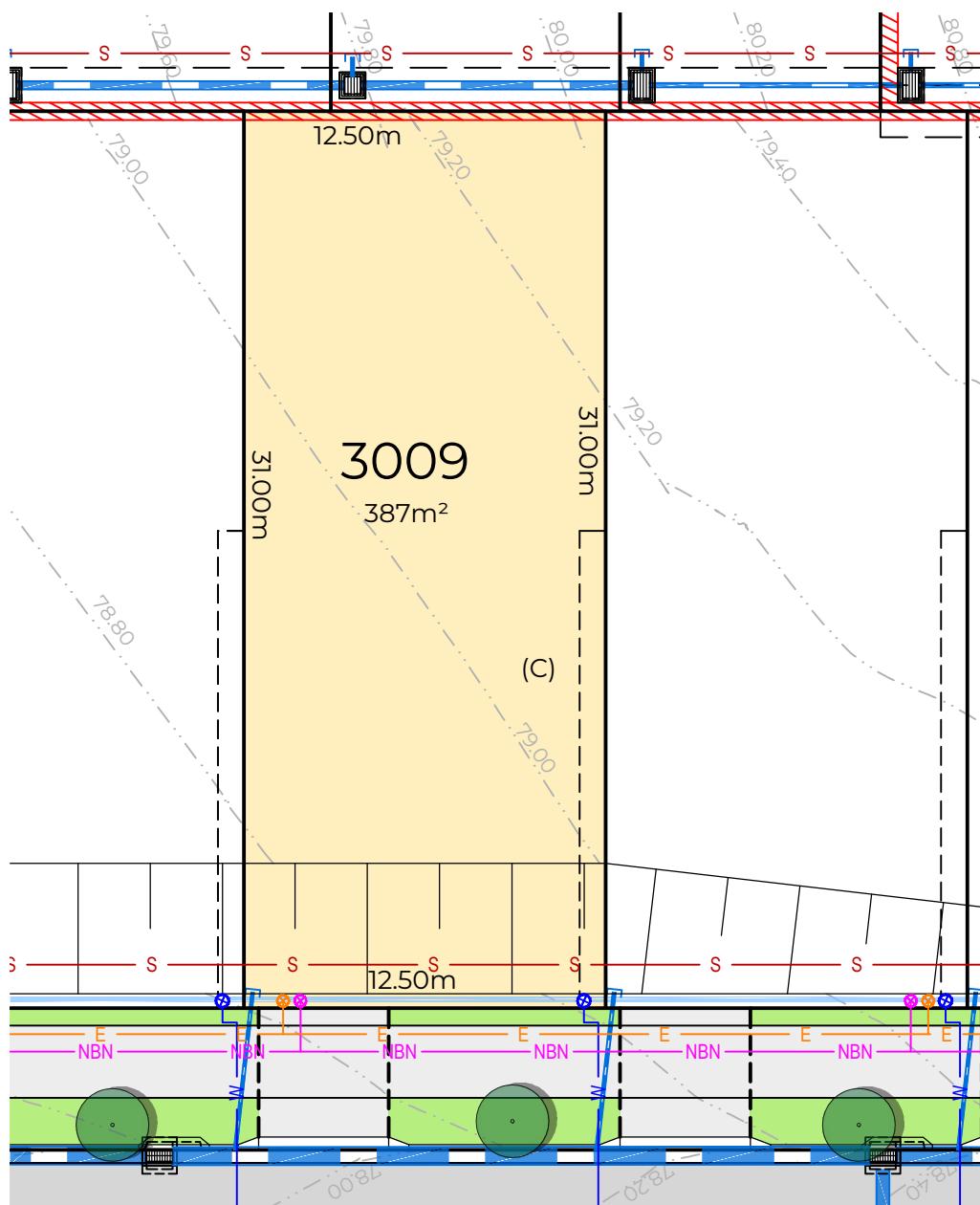
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**Cameron Brae**  
GROUP

# Lot 3009

STAGE 03 | THE HILLTOP



Note Acoustic controls apply to this lot - Refer Sales Contract.

Note Type 3 front fence restriction by owner as denoted by [blue line segment]

02 9050 0555

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birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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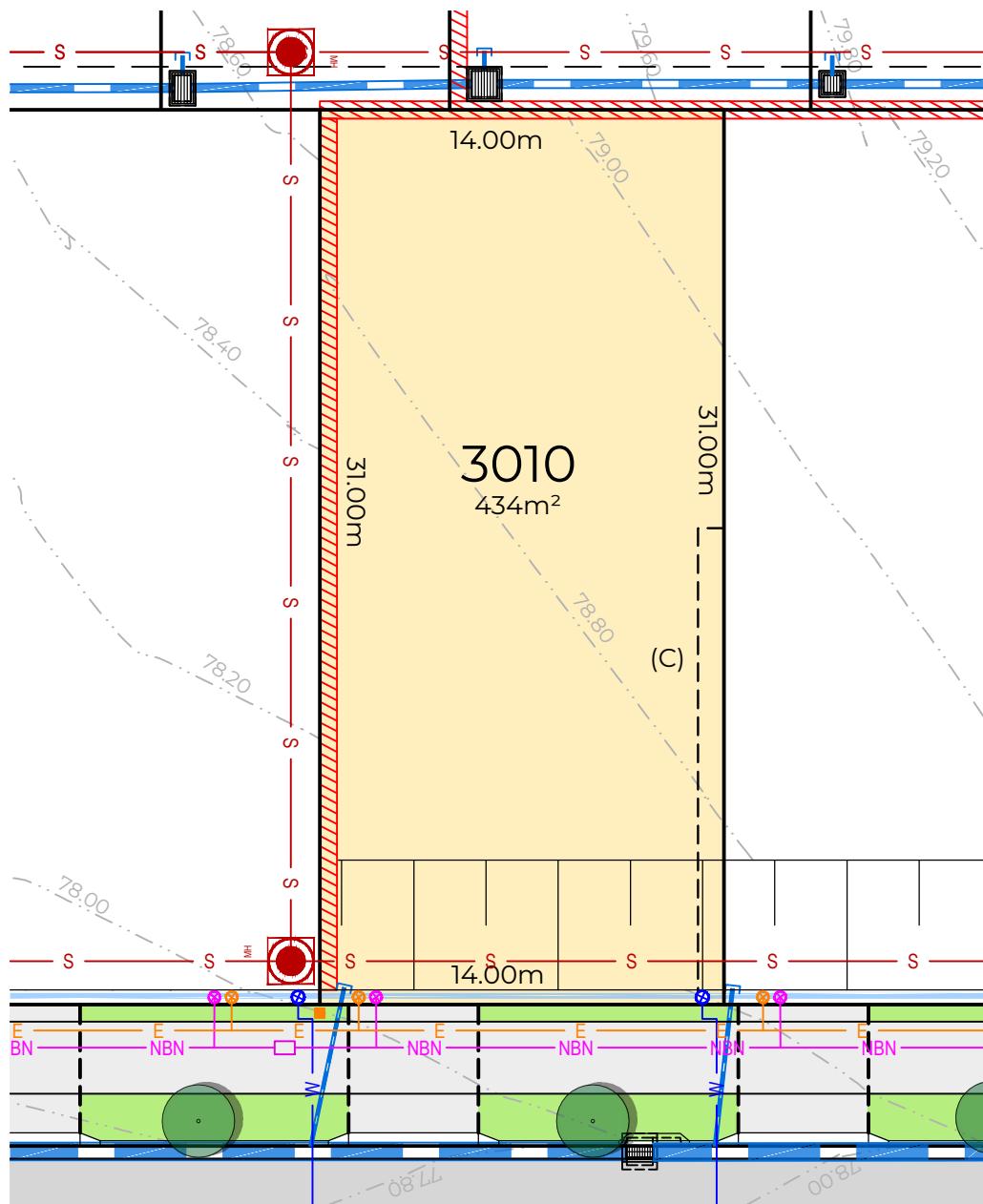
BIRLING

Lot Plan



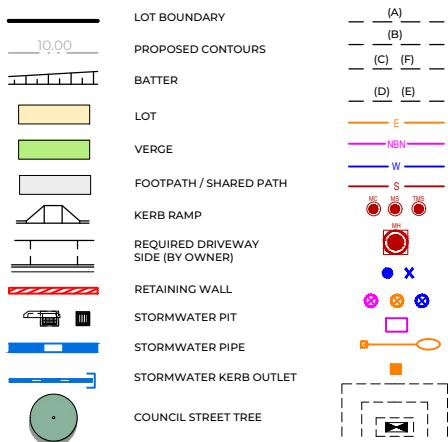
# Lot 3010

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** Type 3 front fence restriction by owner as denoted by



02 9050 0555

## SALES CENTRE

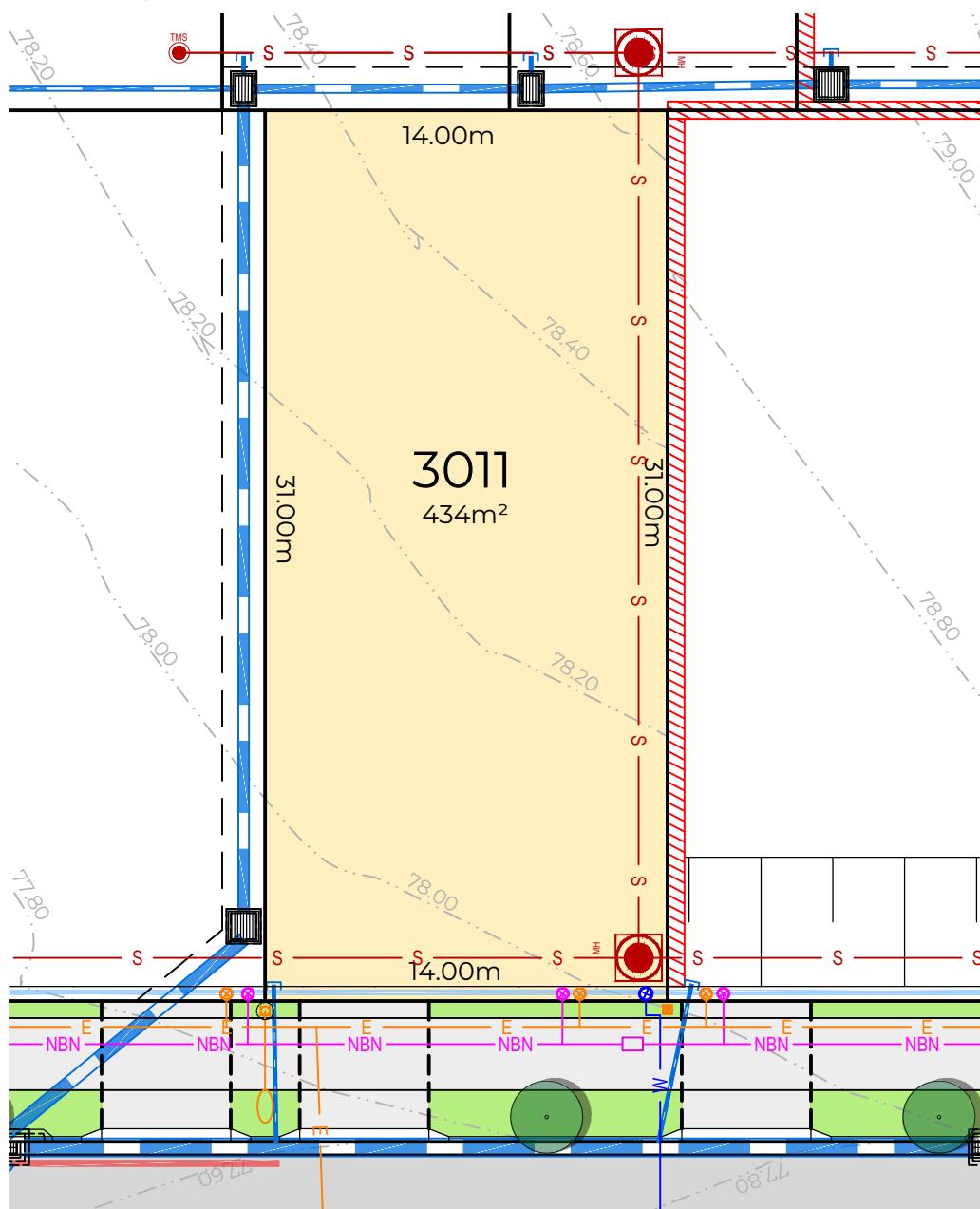
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3011

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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0 5m  
SCALE 1:250

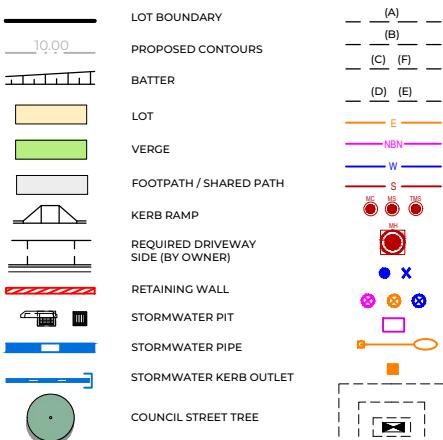
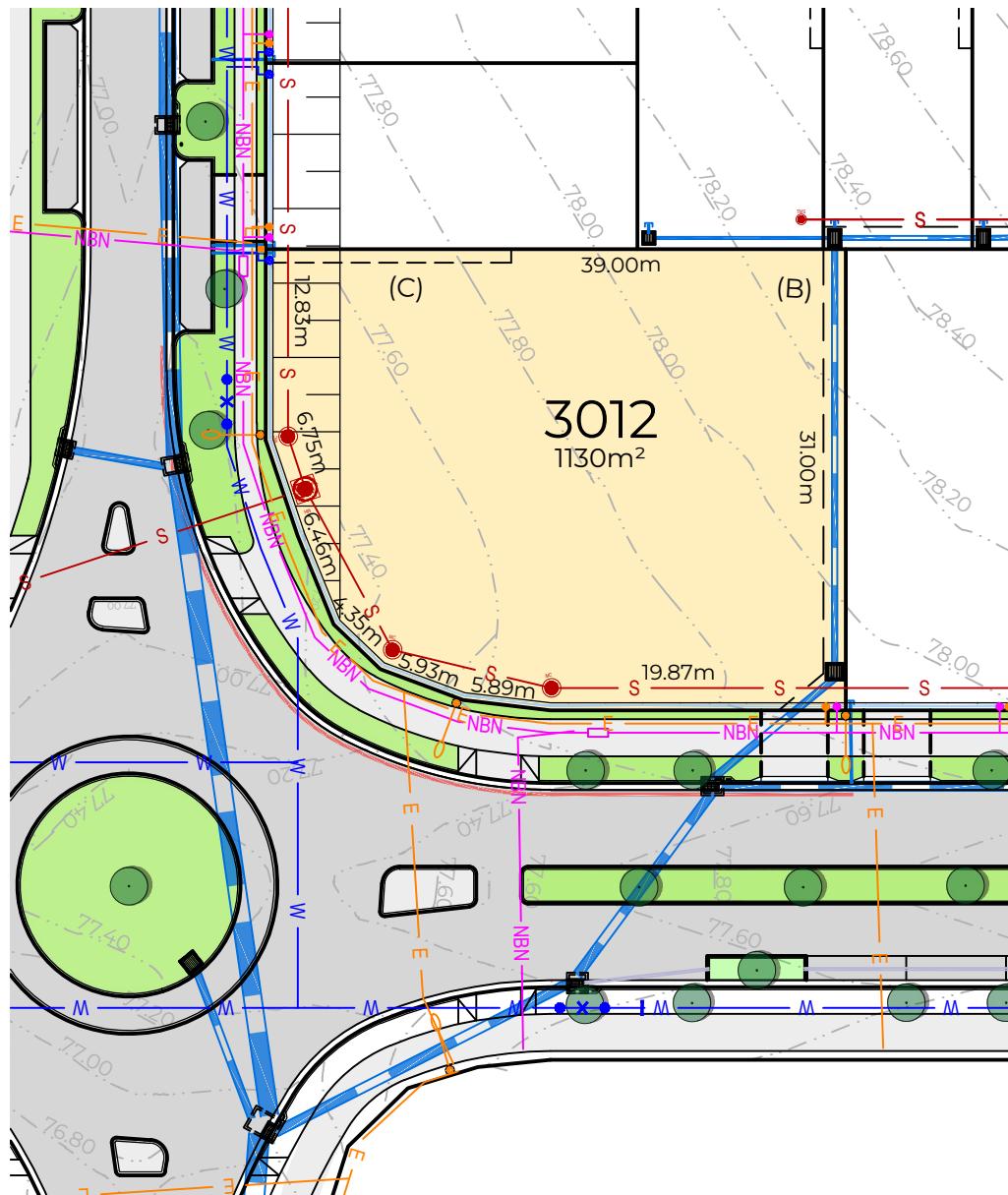
# Lot 3012

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



LOT BOUNDARY  
PROPOSED CONTOURS  
BATTER  
LOT  
VERGE  
FOOTPATH / SHARED PATH  
KERB RAMP  
REQUIRED DRIVEWAY SIDE (BY OWNER)  
RETAINING WALL  
STORMWATER PIT  
STORMWATER PIPE  
STORMWATER KERB OUTLET  
COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
(B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
(C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
(D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
(E) ELECTRICAL  
(F) TELECOMMUNICATIONS  
(W) POTABLE WATER  
(S) SEWER  
(M) SEWER MAINTENANCE SHAFT / CHAMBER  
(H) SEWER MAINTENANCE HOLE  
(P) POTABLE WATER HYDRANT / STOP VALVE  
(U) UTILITY CONNECTIONS  
(C) COMMUNICATIONS PIT  
(L) ELECTRICAL LIGHT POLE  
(E) ELECTRICAL PILLAR  
(O) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by

0 10m  
SCALE 1:500

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

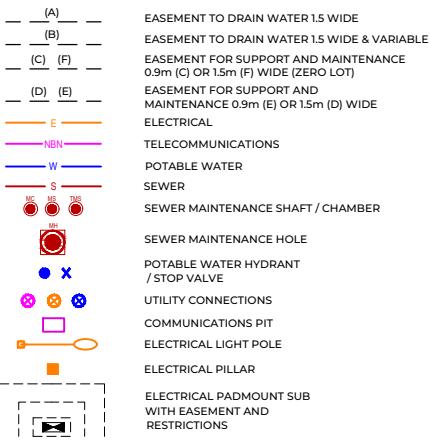
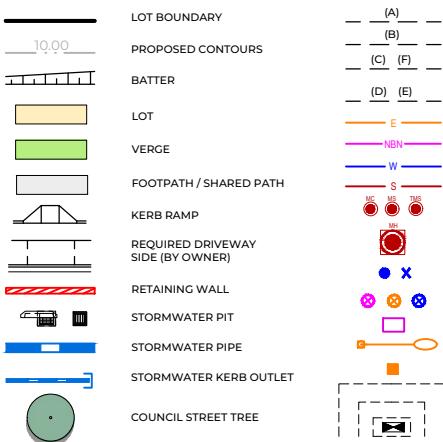
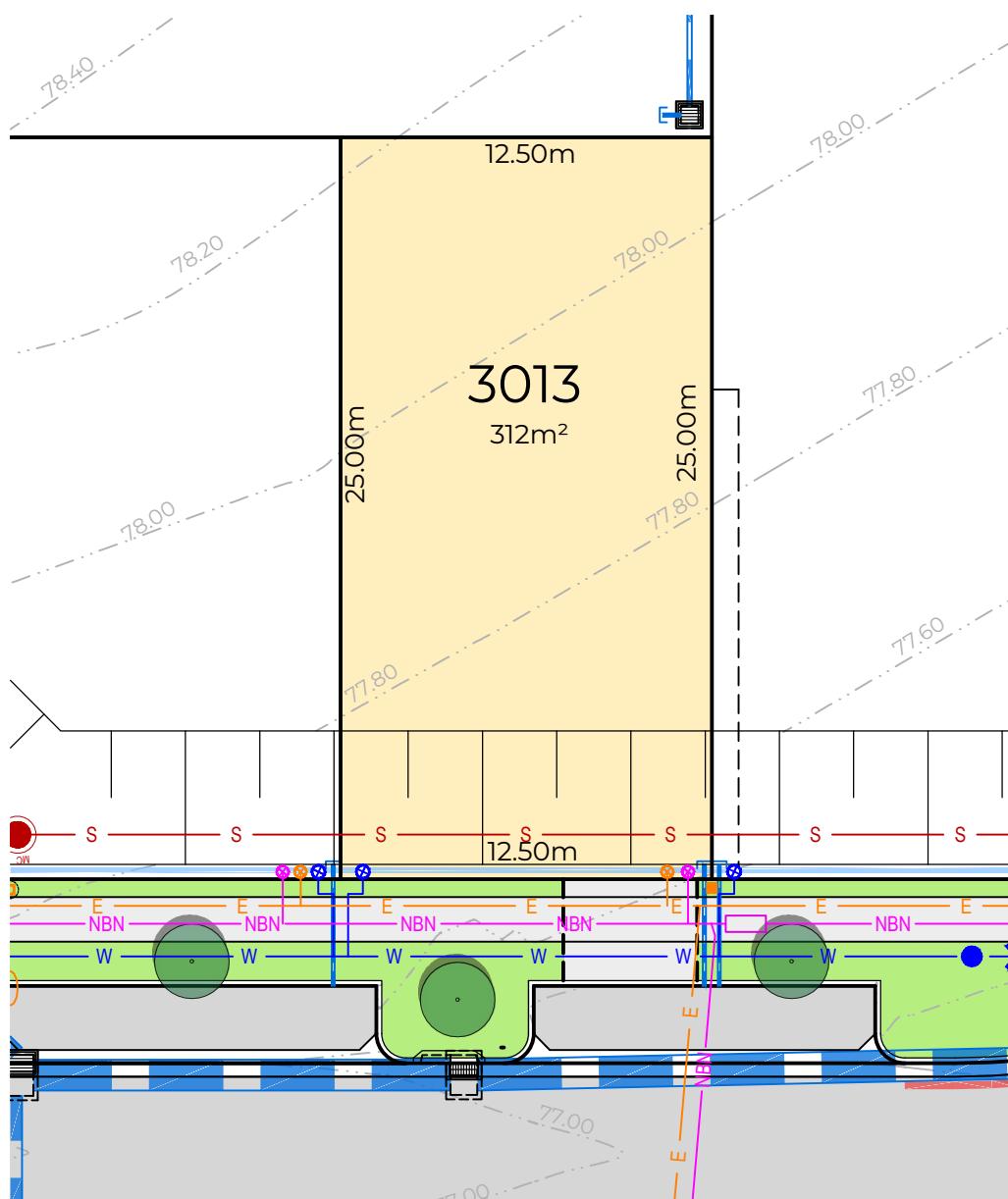
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3013

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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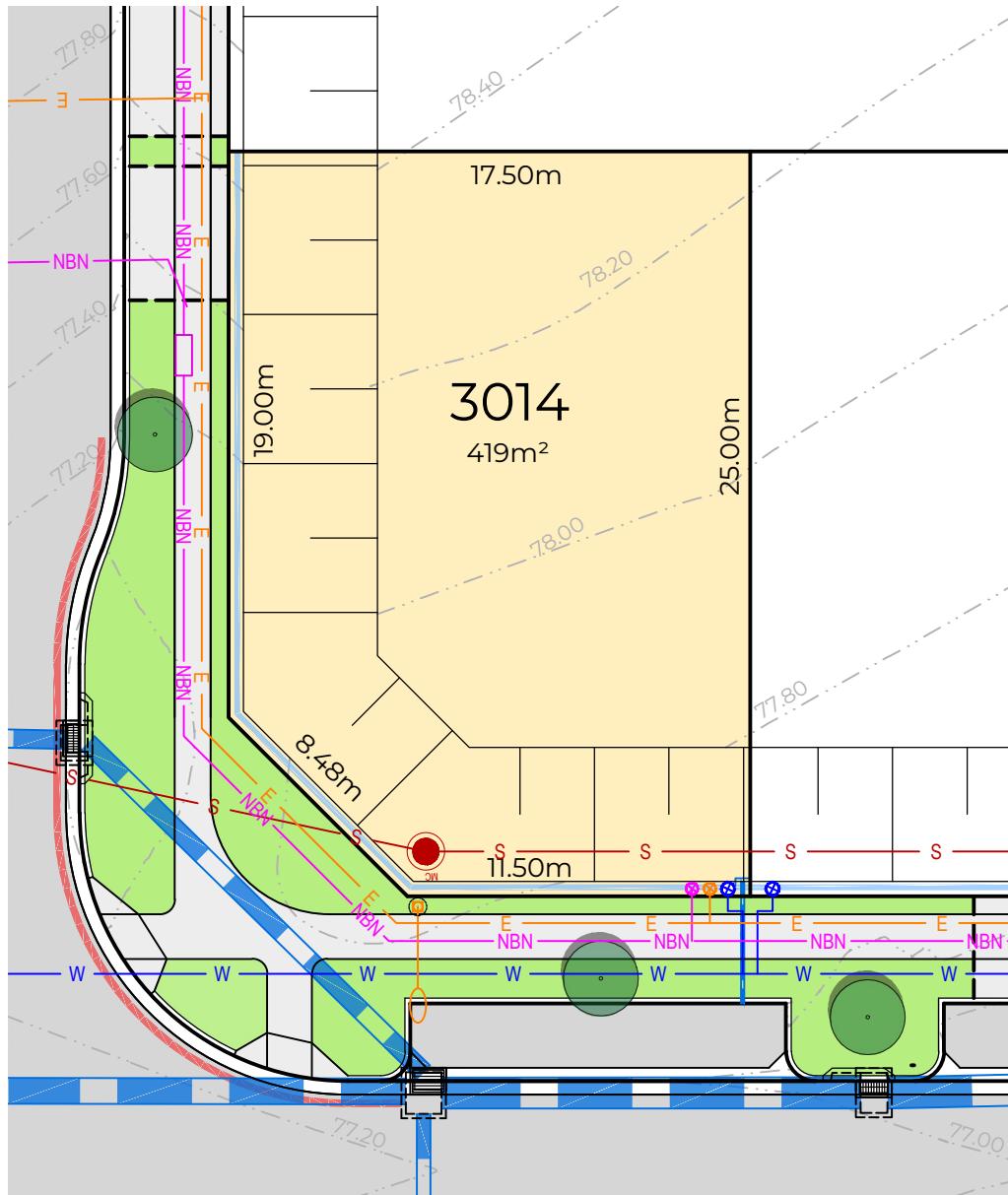
BIRLING

Lot Plan



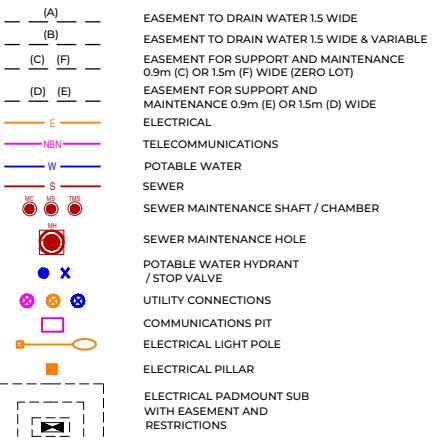
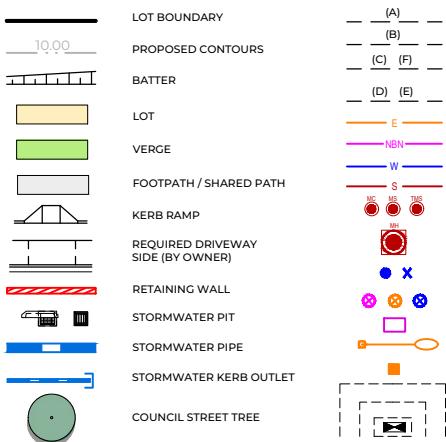
# Lot 3014

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

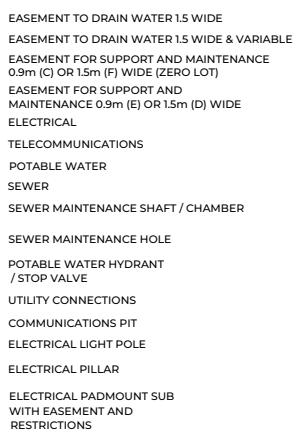
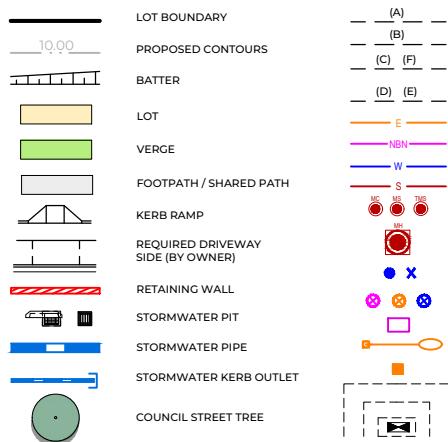
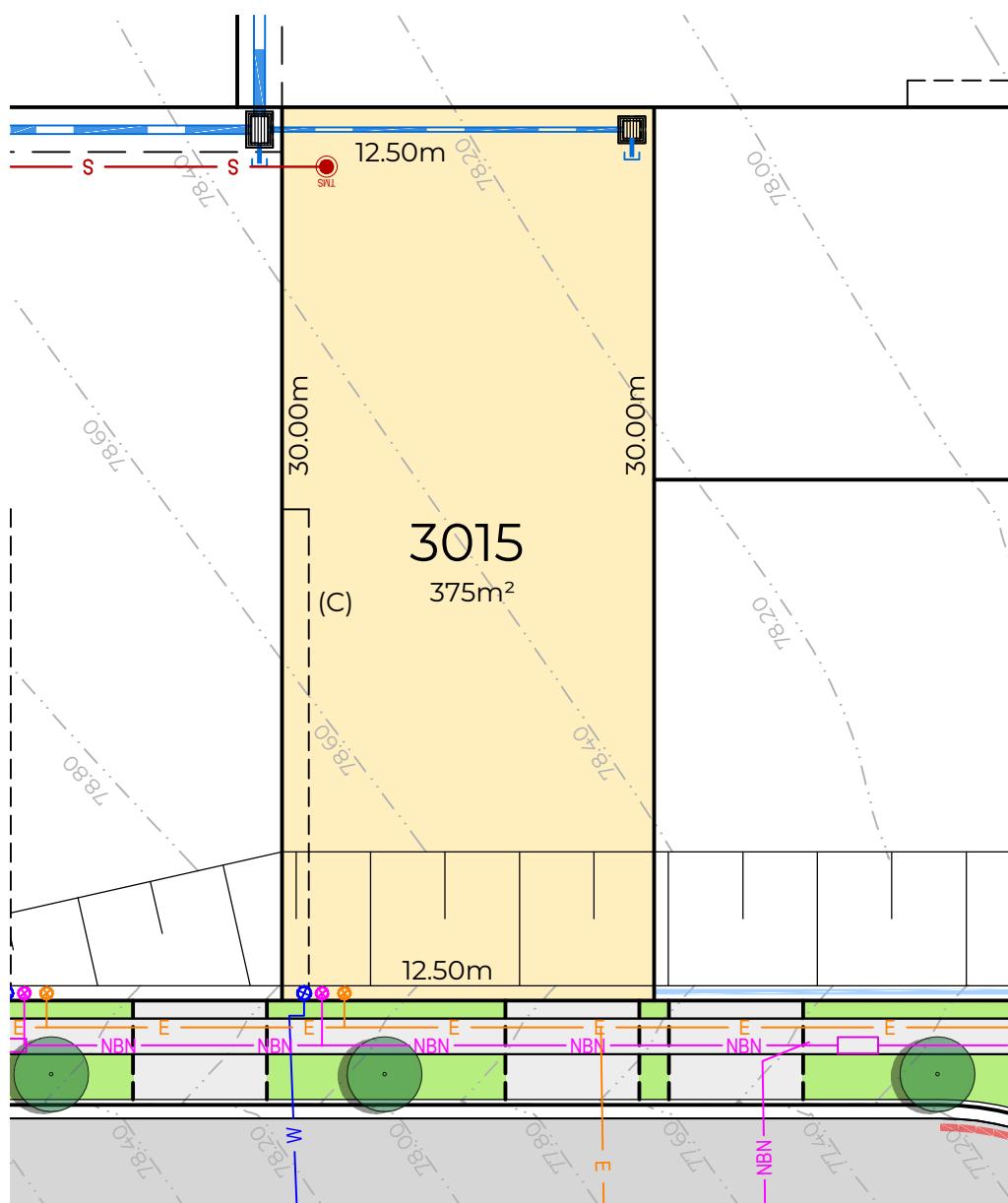
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3015

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

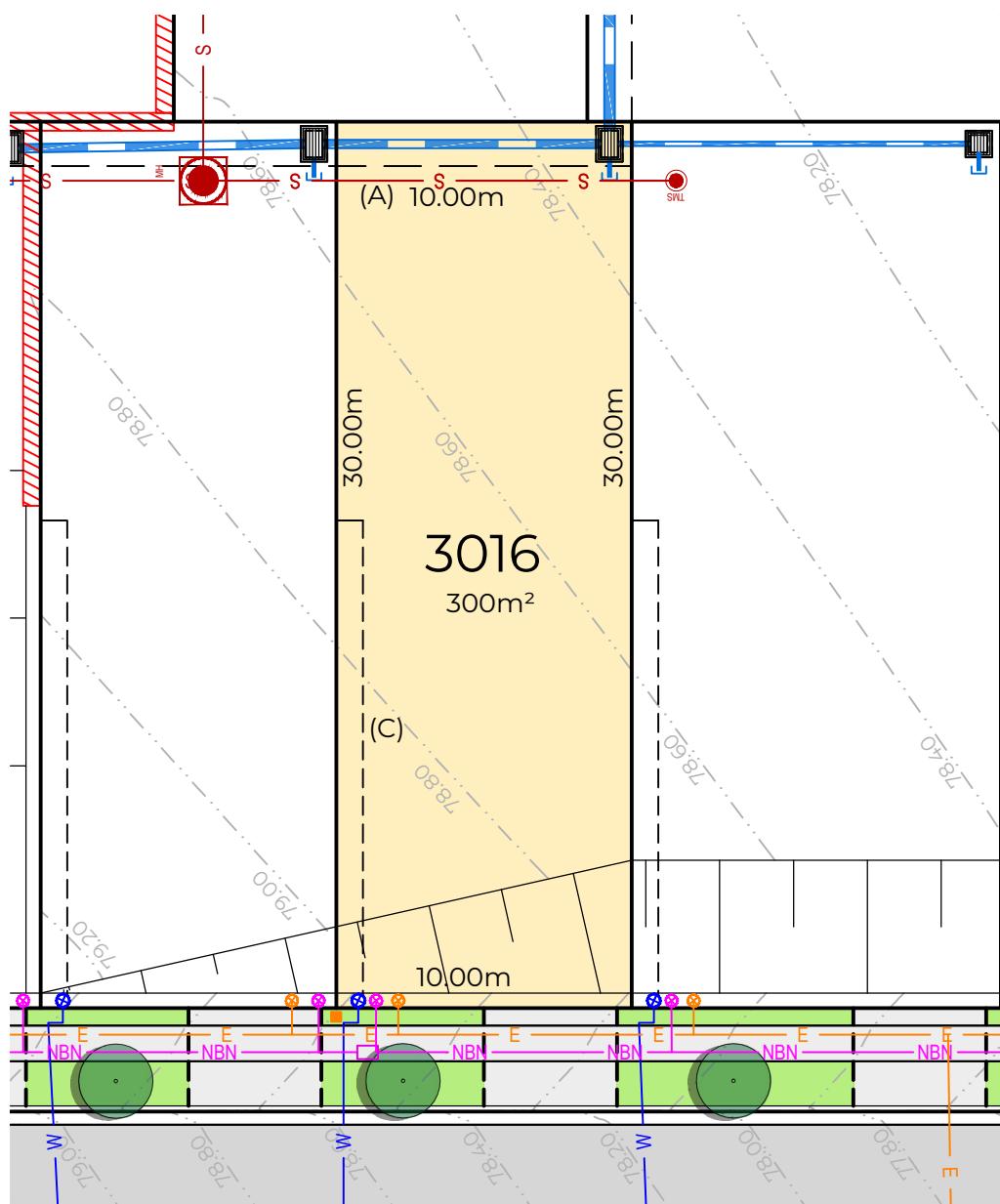
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3016

STAGE 03 | THE HILLTOP



LOT BOUNDARY	(A)	EASEMENT TO DRAIN WATER 1.5 WIDE
PROPOSED CONTOURS	(B)	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
BATTER	(C) (F)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
LOT	(D) (E)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
VERGE	E	ELECTRICAL
FOOTPATH / SHARED PATH	NBN	TELECOMMUNICATIONS
KERB RAMP	NBN	POTABLE WATER
REQUIRED DRIVEWAY SIDE (BY OWNER)	NBN	SEWER
RETAINING WALL	NBN	SEWER MAINTENANCE SHAFT / CHAMBER
STORMWATER PIT	NBN	SEWER MAINTENANCE HOLE
STORMWATER PIPE	NBN	POTABLE WATER HYDRANT / STOP VALVE
STORMWATER KERB OUTLET	NBN	UTILITY CONNECTIONS
COUNCIL STREET TREE		COMMUNICATIONS PIT

(E)	ELECTRICAL
NBN	TELECOMMUNICATIONS
NBN	POTABLE WATER
NBN	SEWER
NBN	SEWER MAINTENANCE SHAFT / CHAMBER
NBN	SEWER MAINTENANCE HOLE
NBN	POTABLE WATER HYDRANT / STOP VALVE
NBN	UTILITY CONNECTIONS
NBN	COMMUNICATIONS PIT
NBN	ELECTRICAL LIGHT POLE
NBN	ELECTRICAL PILLAR
	ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

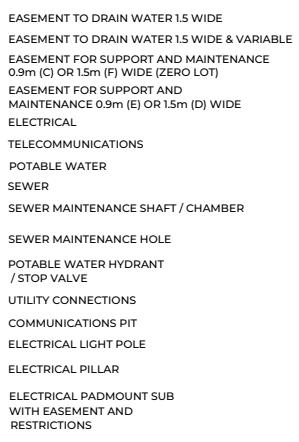
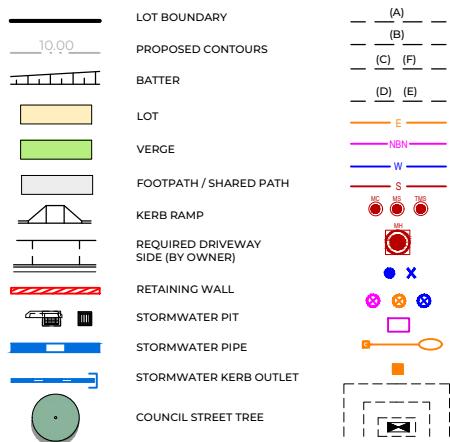
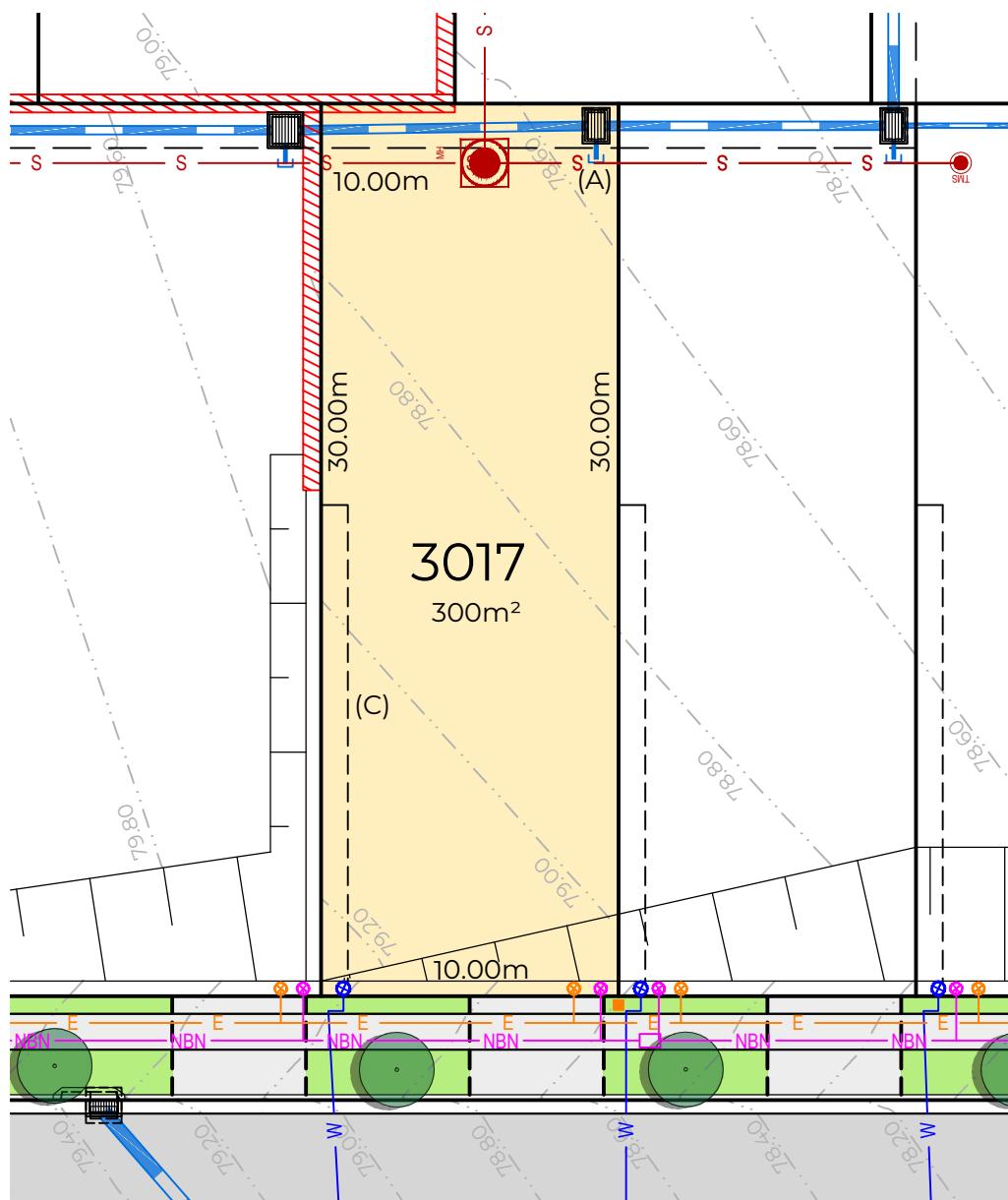
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3017

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

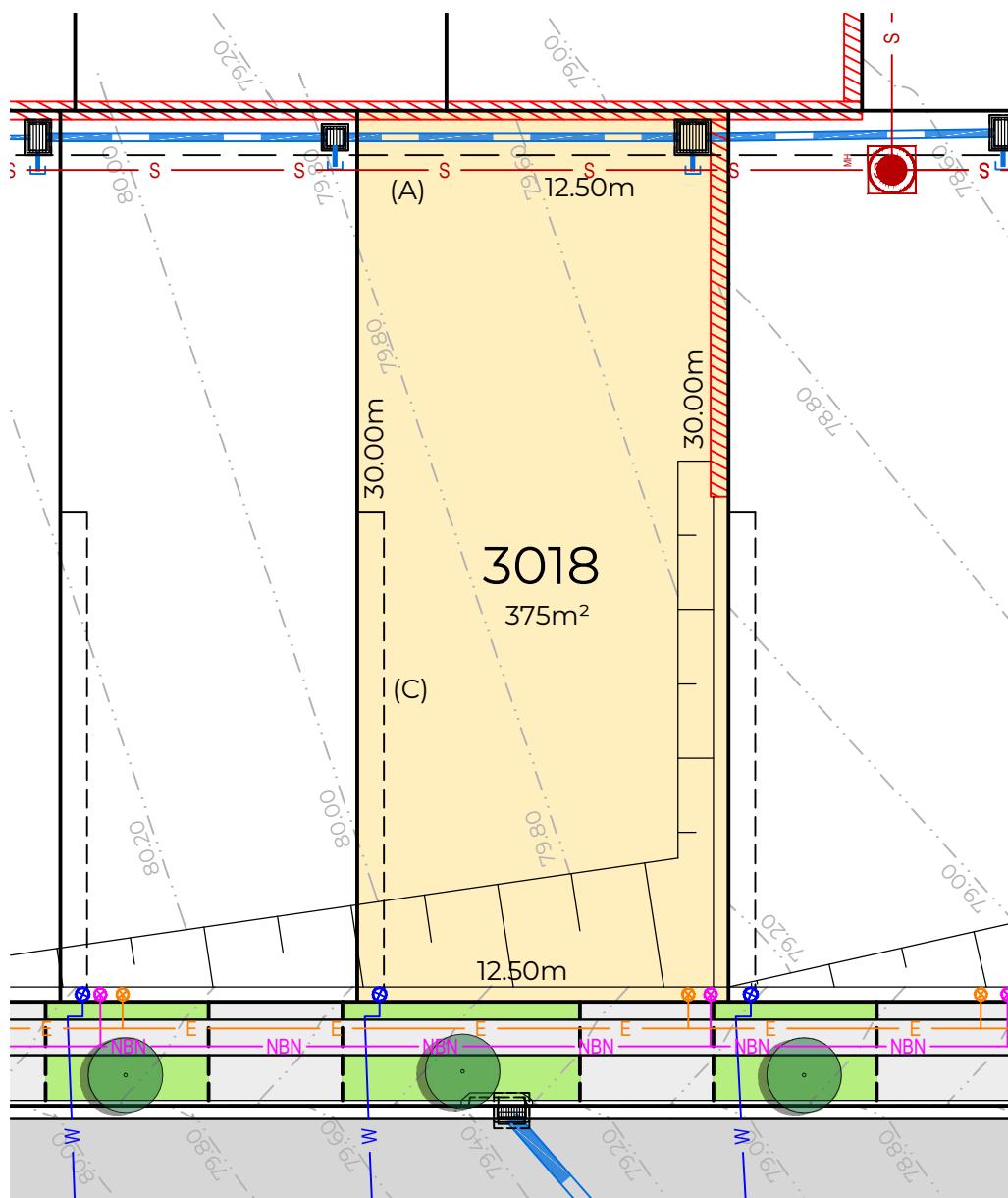
# Lot 3018

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



	LOT BOUNDARY		(A)	EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		(B)	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		(C) (F)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		(D) (E)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		E	ELECTRICAL
	FOOTPATH / SHARED PATH		NBN	TELECOMMUNICATIONS
	KERB RAMP		W	POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		S	SEWER
	RETAINING WALL		MC GS THIS	SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT			SEWER MAINTENANCE HOLE
	STORMWATER PIPE			POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET			UTILITY CONNECTIONS
	COUNCIL STREET TREE			COMMUNICATIONS PIT
				ELECTRICAL LIGHT POLE
				ELECTRICAL PILLAR
				ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0  5m  
SCALE 1:250

02 9050 0555

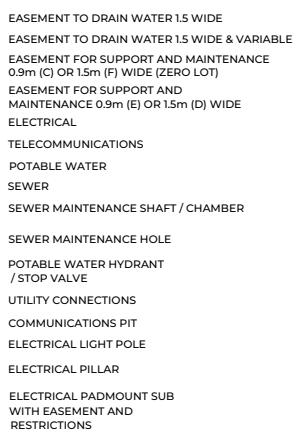
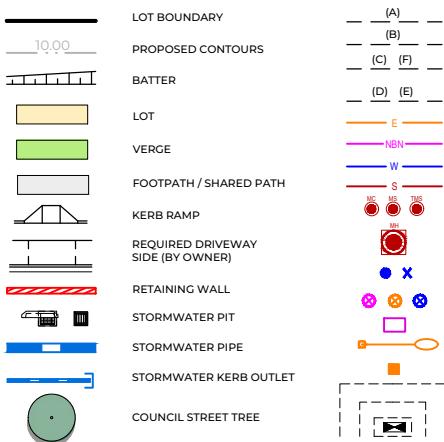
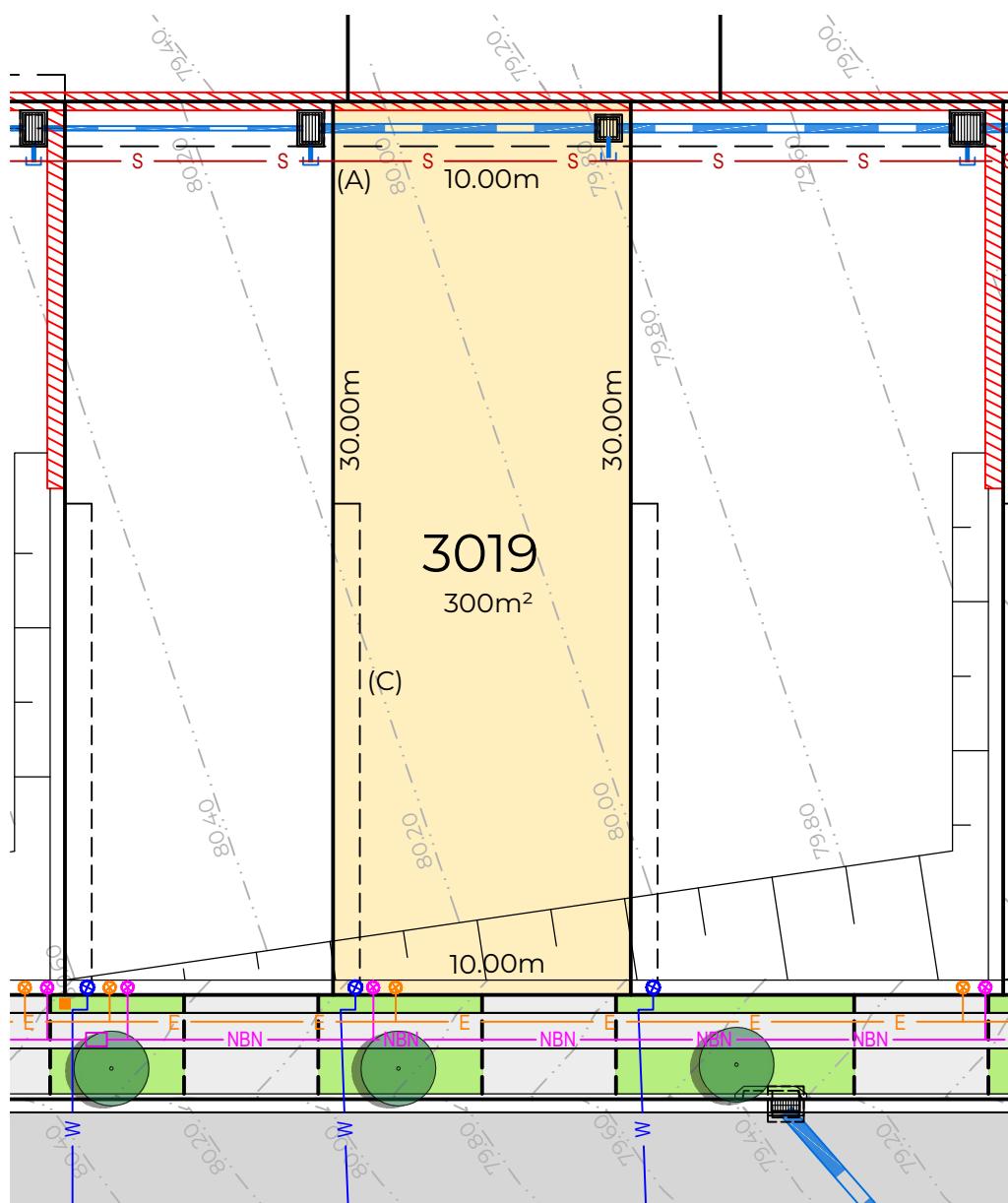
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3019

STAGE 03 | THE HILLTOP



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# BIRLING

## Lot Plan

02 9050 0555

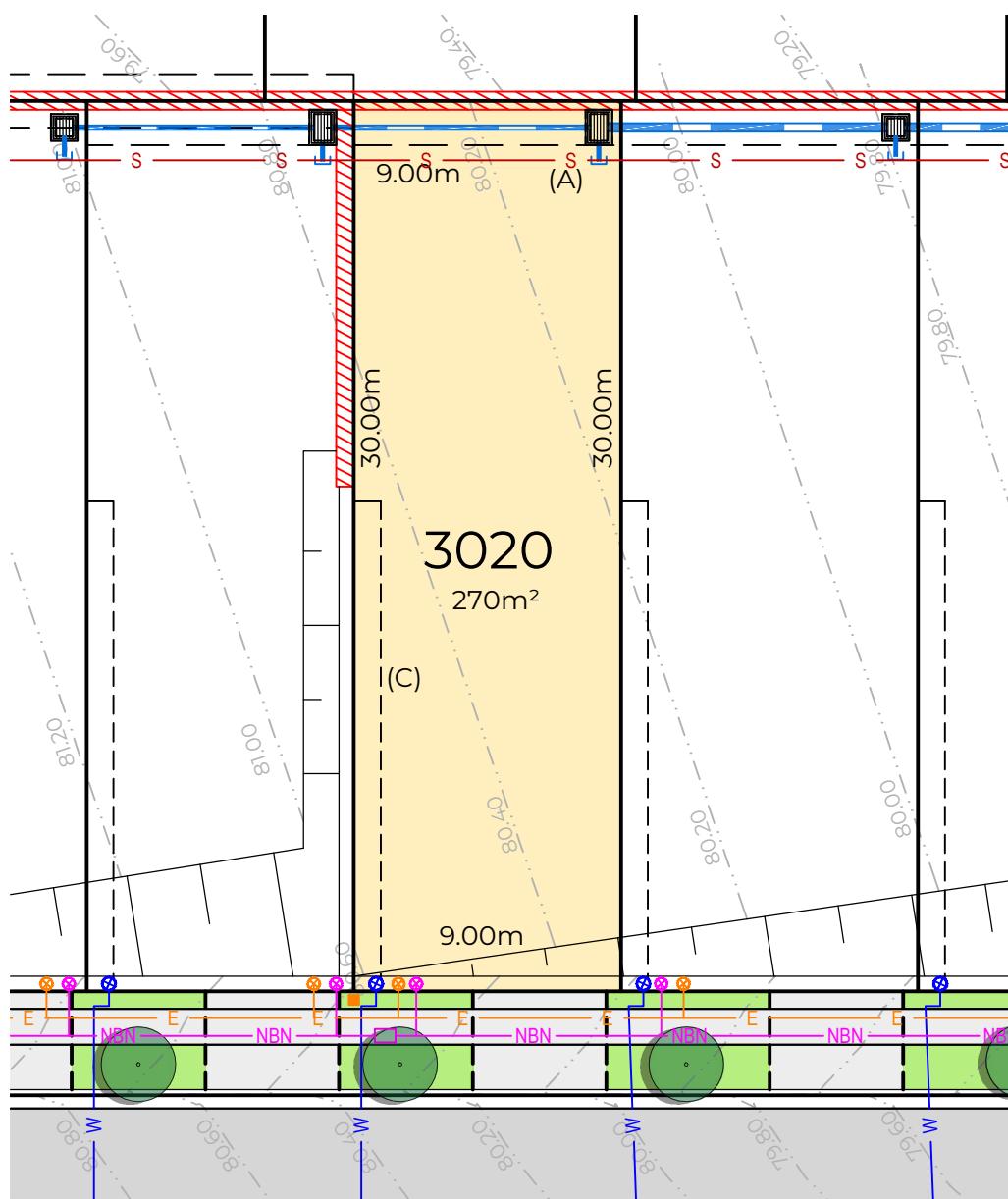
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

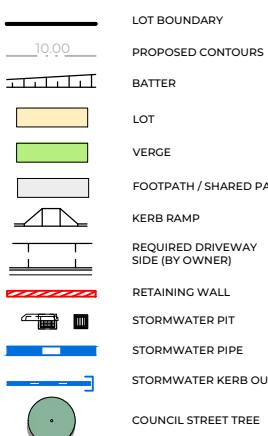
# Lot 3020

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



— LOT BOUNDARY  
 — PROPOSED CONTOURS  
 — BATTER  
 ■ LOT  
 ■ VERGE  
 ■ FOOTPATH / SHARED PATH  
 ■ KERB RAMP  
 ■ REQUIRED DRIVEWAY SIDE (BY OWNER)  
 ■ RETAINING WALL  
 ■ STORMWATER PIT  
 ■ STORMWATER PIPE  
 ■ STORMWATER KERB OUTLET  
 ■ COUNCIL STREET TREE

— (A) — EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 — (B) — EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 — (C) (F) — EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 — (D) (E) — EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 ■ ELECTRICAL  
 ■ TELECOMMUNICATIONS  
 ■ POTABLE WATER  
 ■ SEWER  
 ■ SEWER MAINTENANCE SHAFT / CHAMBER  
 ■ SEWER MAINTENANCE HOLE  
 ■ POTABLE WATER HYDRANT / STOP VALVE  
 ■ UTILITY CONNECTIONS  
 ■ COMMUNICATIONS PIT  
 ■ ELECTRICAL LIGHT POLE  
 ■ ELECTRICAL PILLAR  
 ■ ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

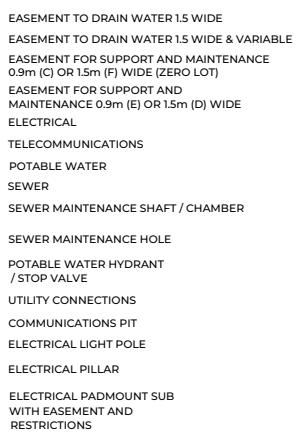
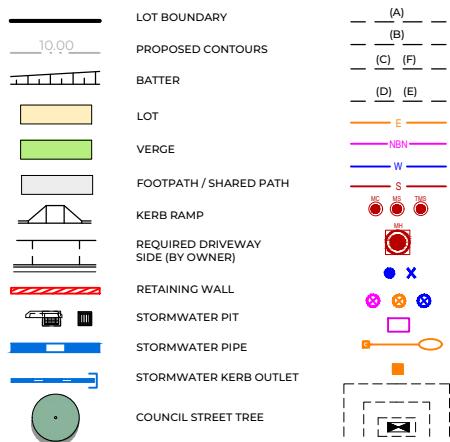
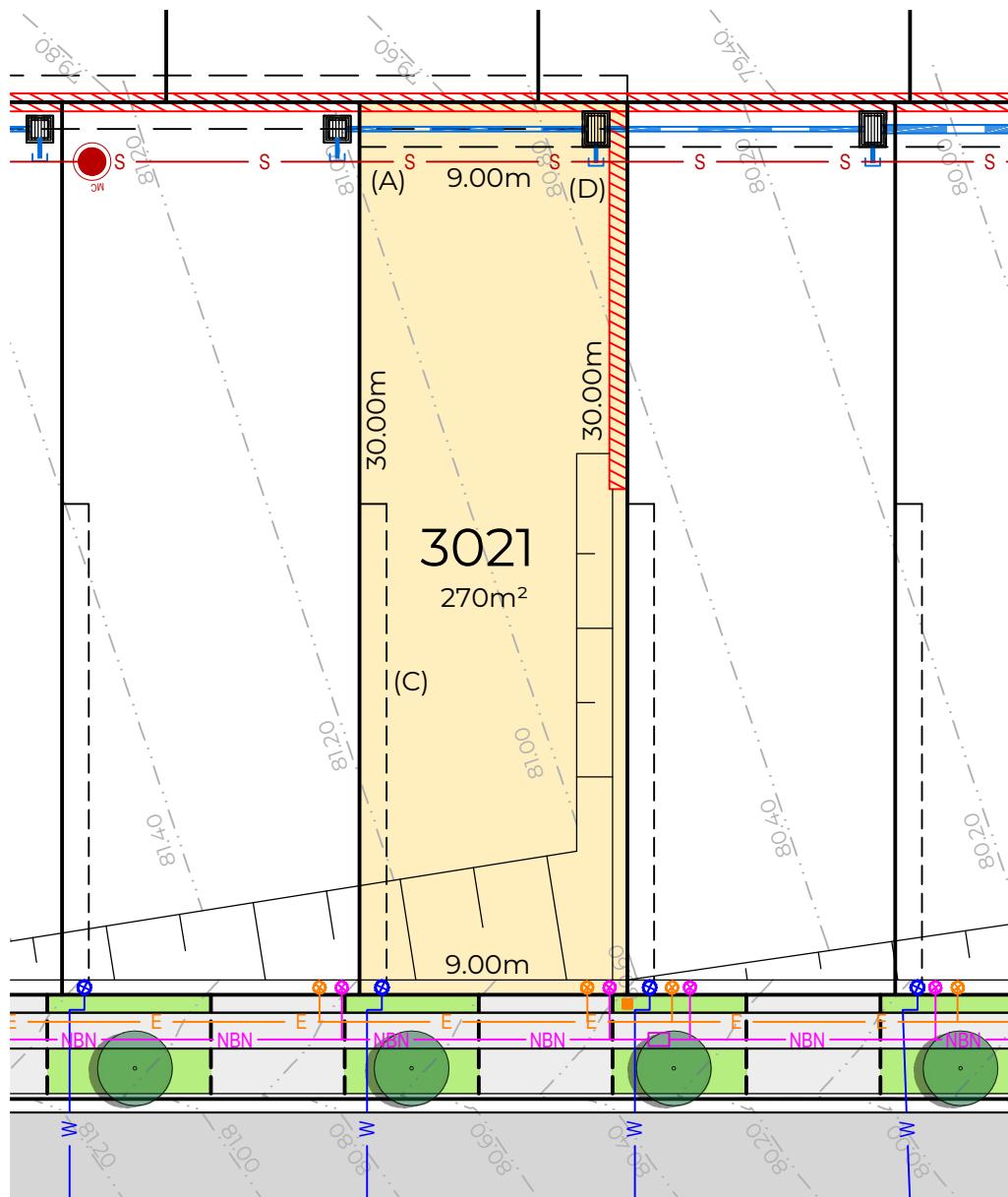
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3021

STAGE 03 | THE HILLTOP



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# BIRLING

## Lot Plan

02 9050 0555

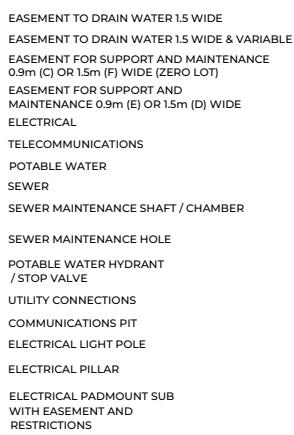
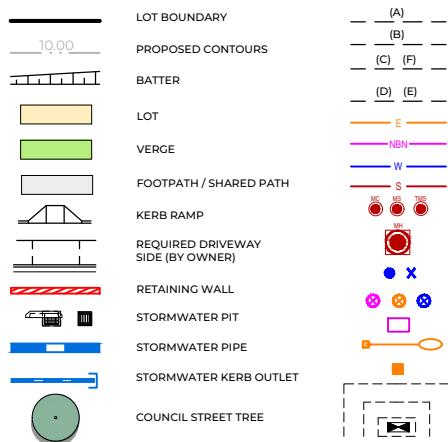
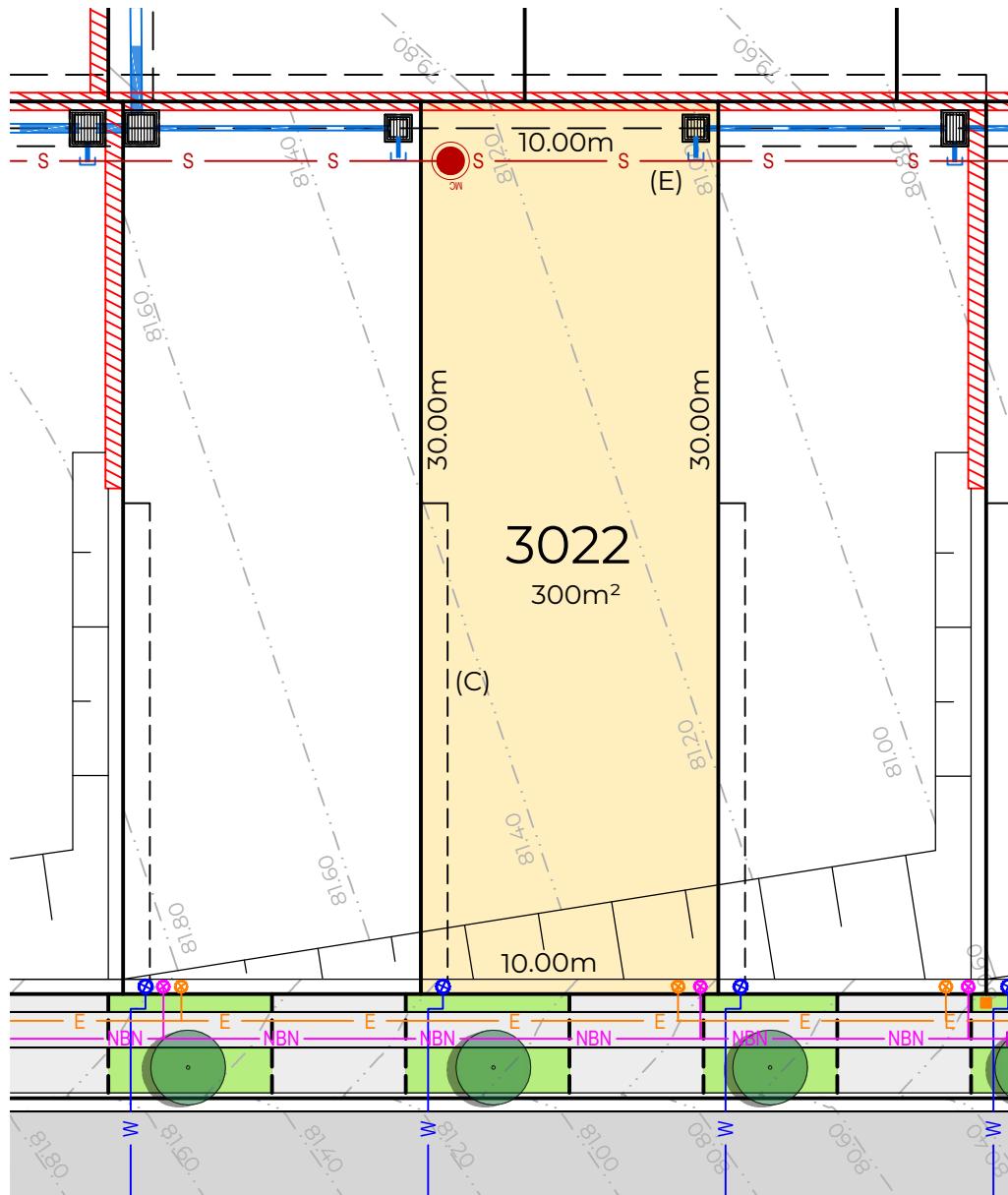
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3022

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

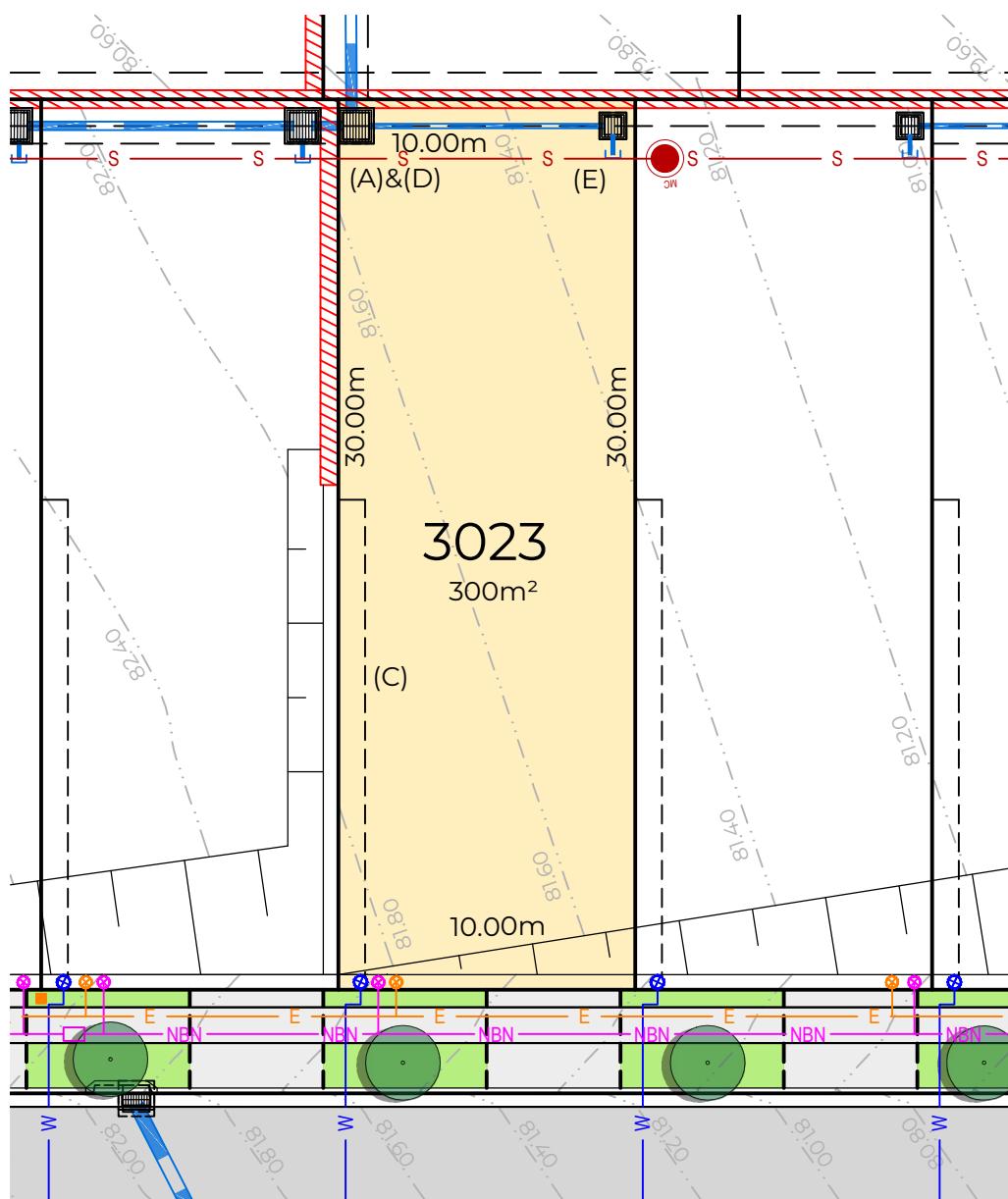
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3023

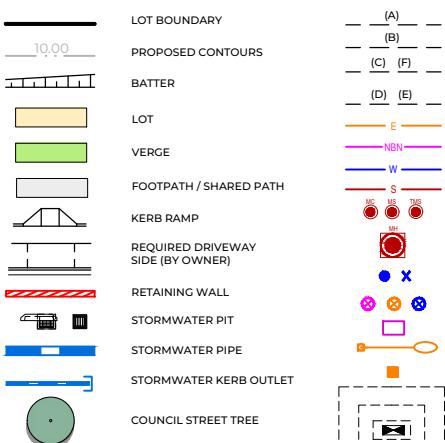
STAGE 03 | THE HILLTOP



B

BIRLING

Lot Plan



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (G) POTABLE WATER  
 (H) SEWER  
 (I) SEWER MAINTENANCE SHAFT / CHAMBER  
 (J) SEWER MAINTENANCE HOLE  
 (K) POTABLE WATER HYDRANT / STOP VALVE  
 (L) UTILITY CONNECTIONS  
 (M) COMMUNICATIONS PIT  
 (N) ELECTRICAL LIGHT POLE  
 (O) ELECTRICAL PILLAR  
 (P) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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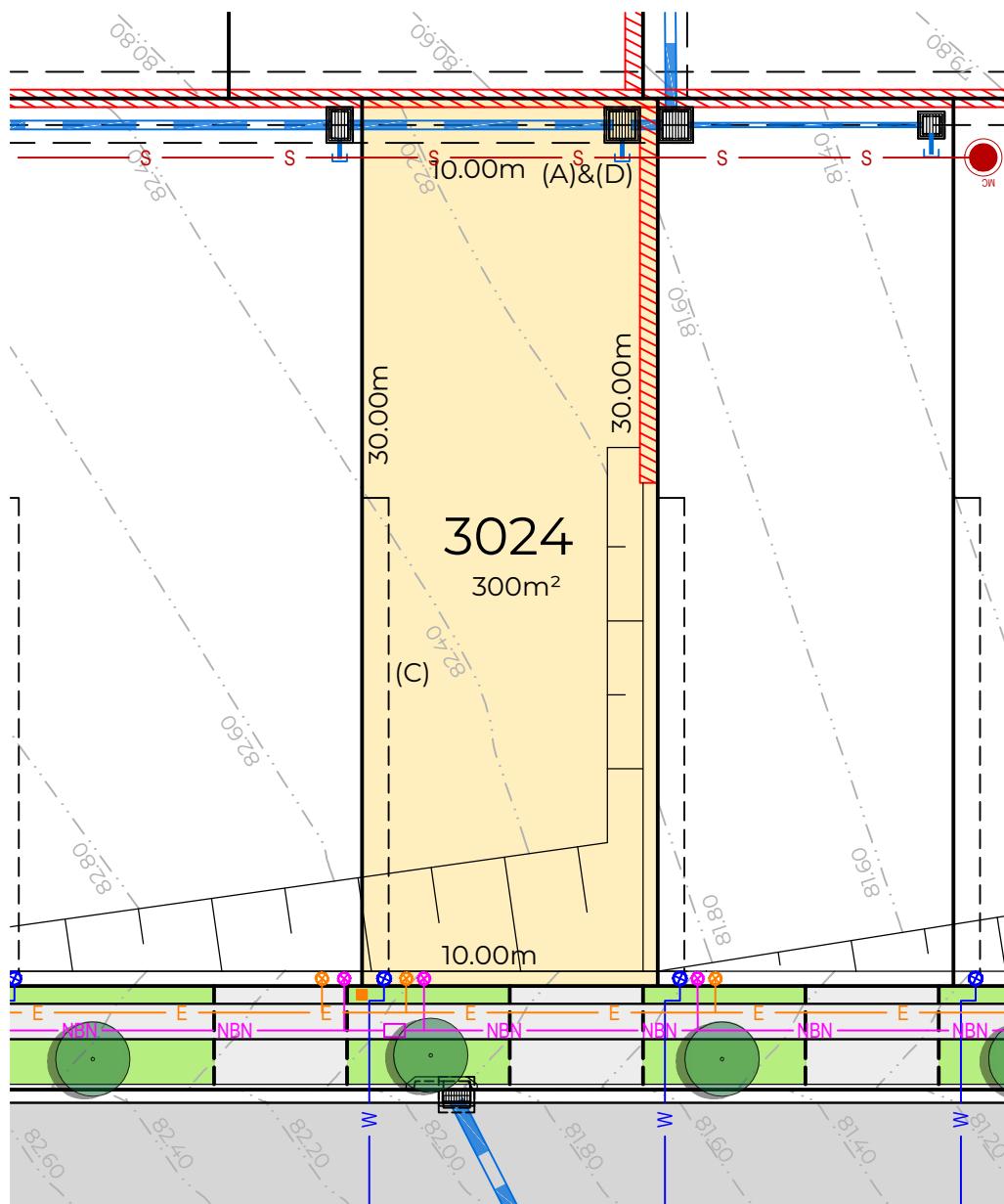
# Lot 3024

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
 EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 EASEMENT FOR SUPPORT AND MAINTENANCE  
 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 EASEMENT FOR SUPPORT AND  
 MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 ELECTRICAL  
 TELECOMMUNICATIONS  
 POTABLE WATER  
 SEWER  
 SEWER MAINTENANCE SHAFT / CHAMBER  
  
 SEWER MAINTENANCE HOLE  
 POTABLE WATER HYDRANT  
 / STOP VALVE  
 UTILITY CONNECTIONS  
 COMMUNICATIONS PIT  
 ELECTRICAL LIGHT POLE  
 ELECTRICAL PILLAR  
  
 ELECTRICAL PADMOUNT SUB  
 WITH EASEMENT AND  
 RESTRICTIONS



0 5m

SCALE 1:250

02 9050 0555

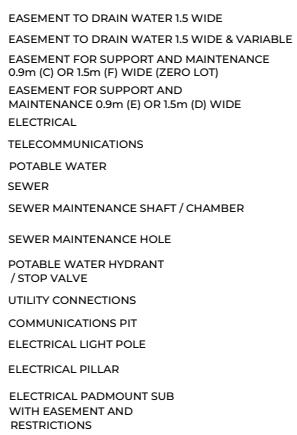
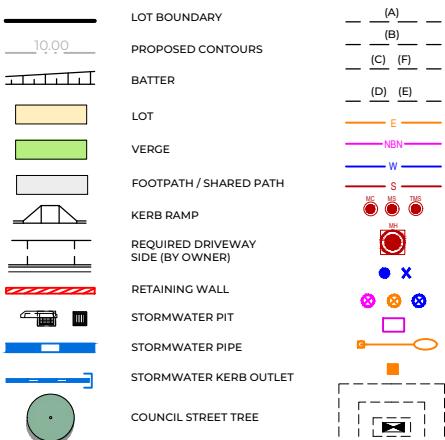
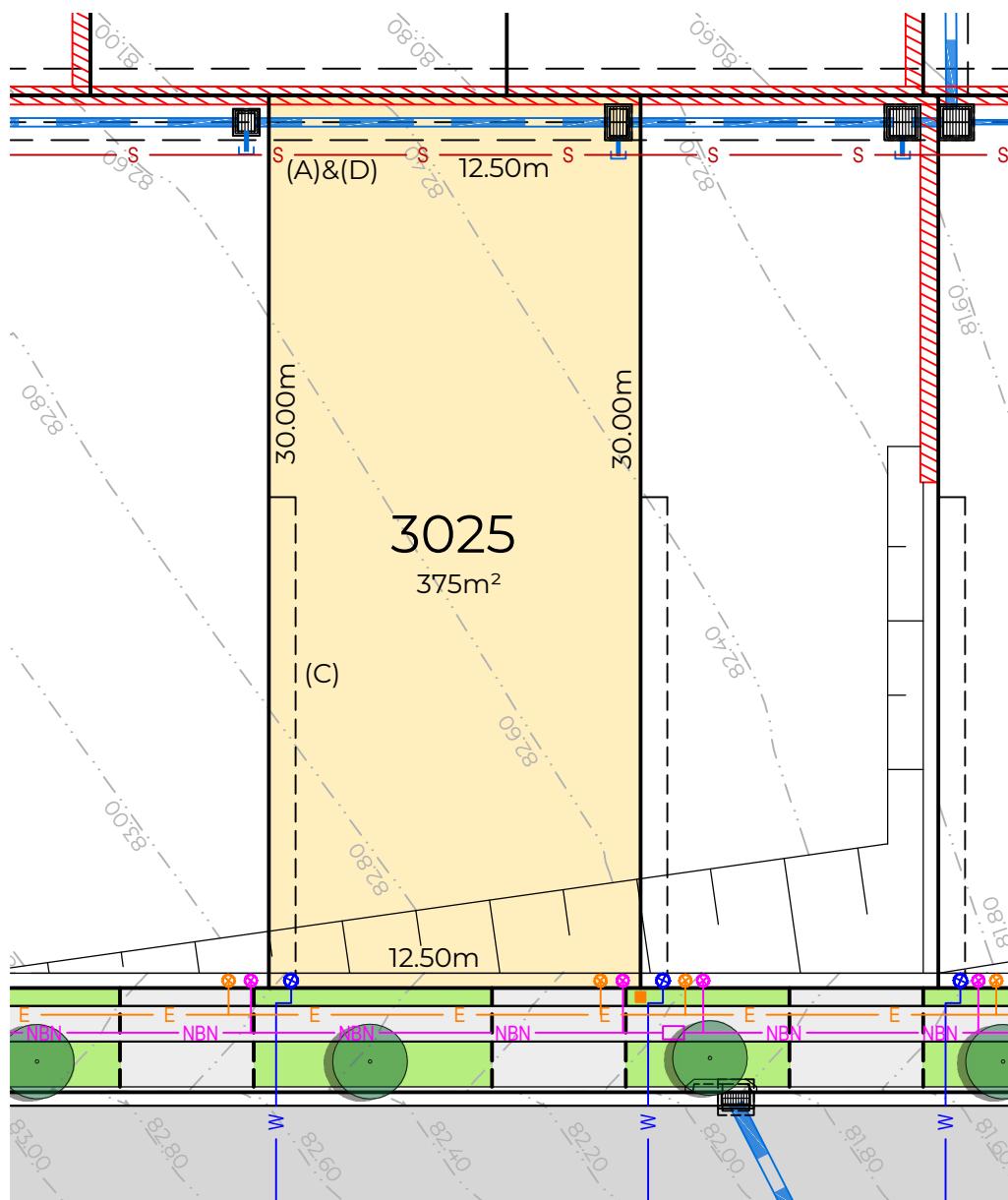
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3025

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

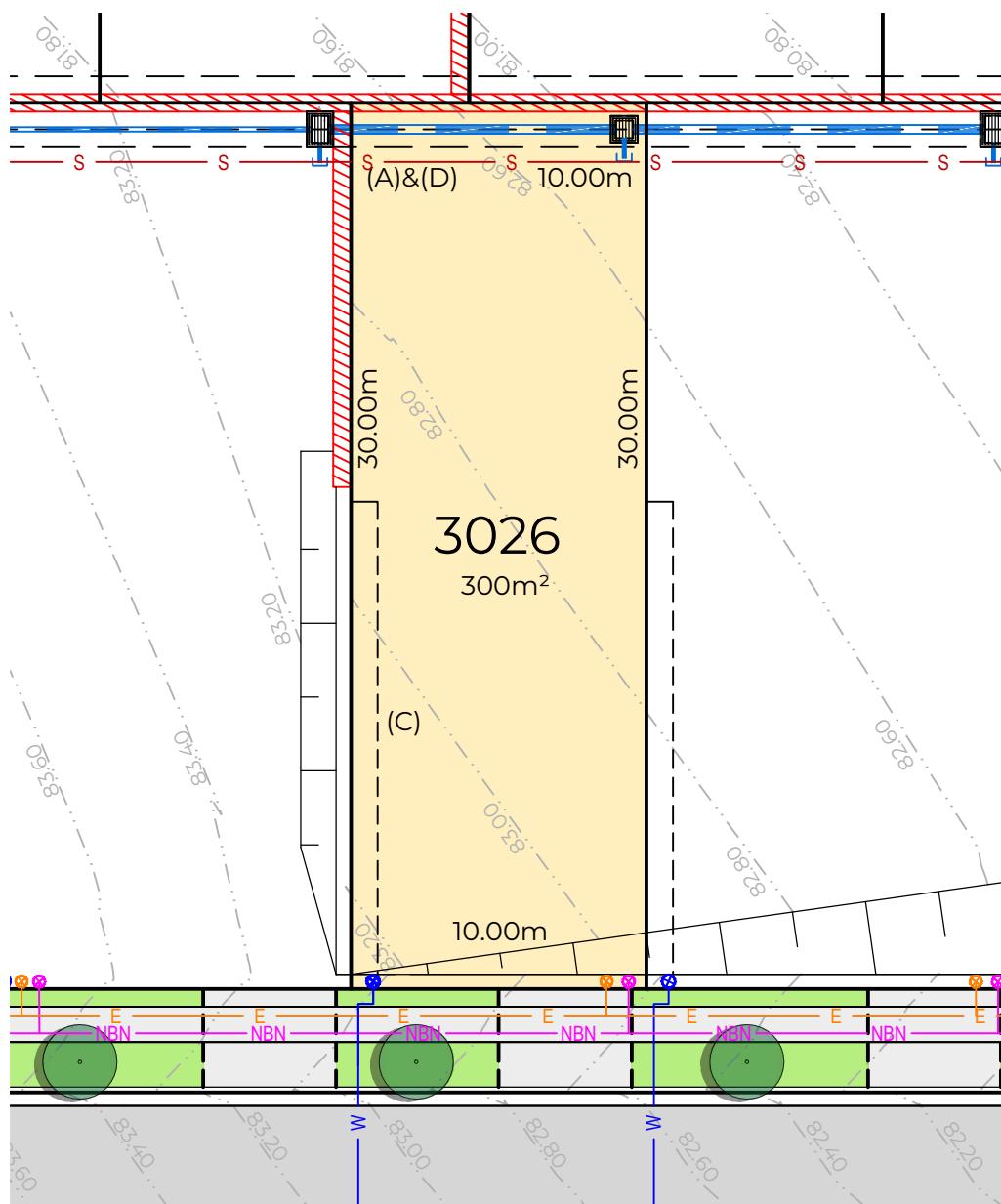
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3026

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

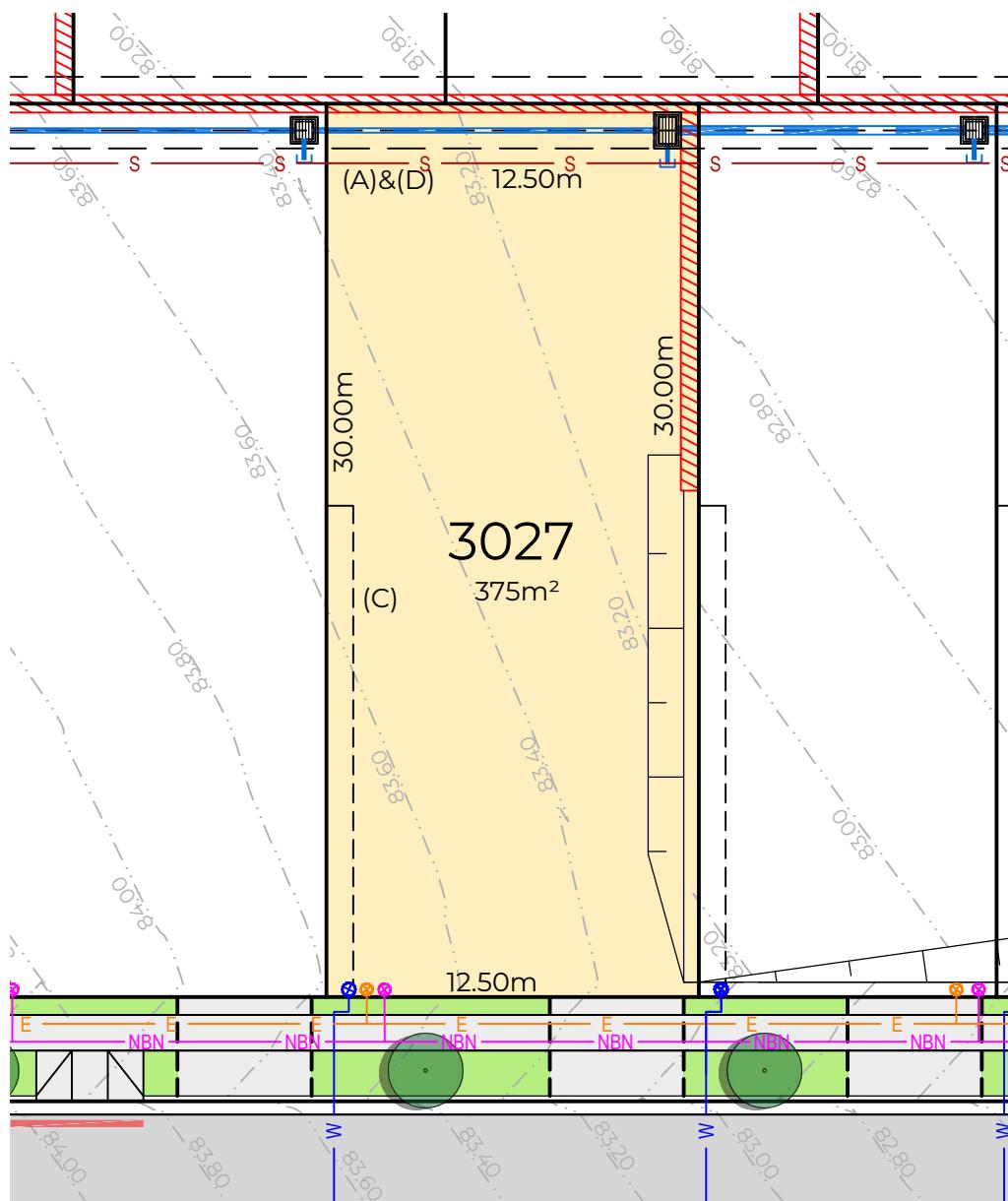
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3027

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

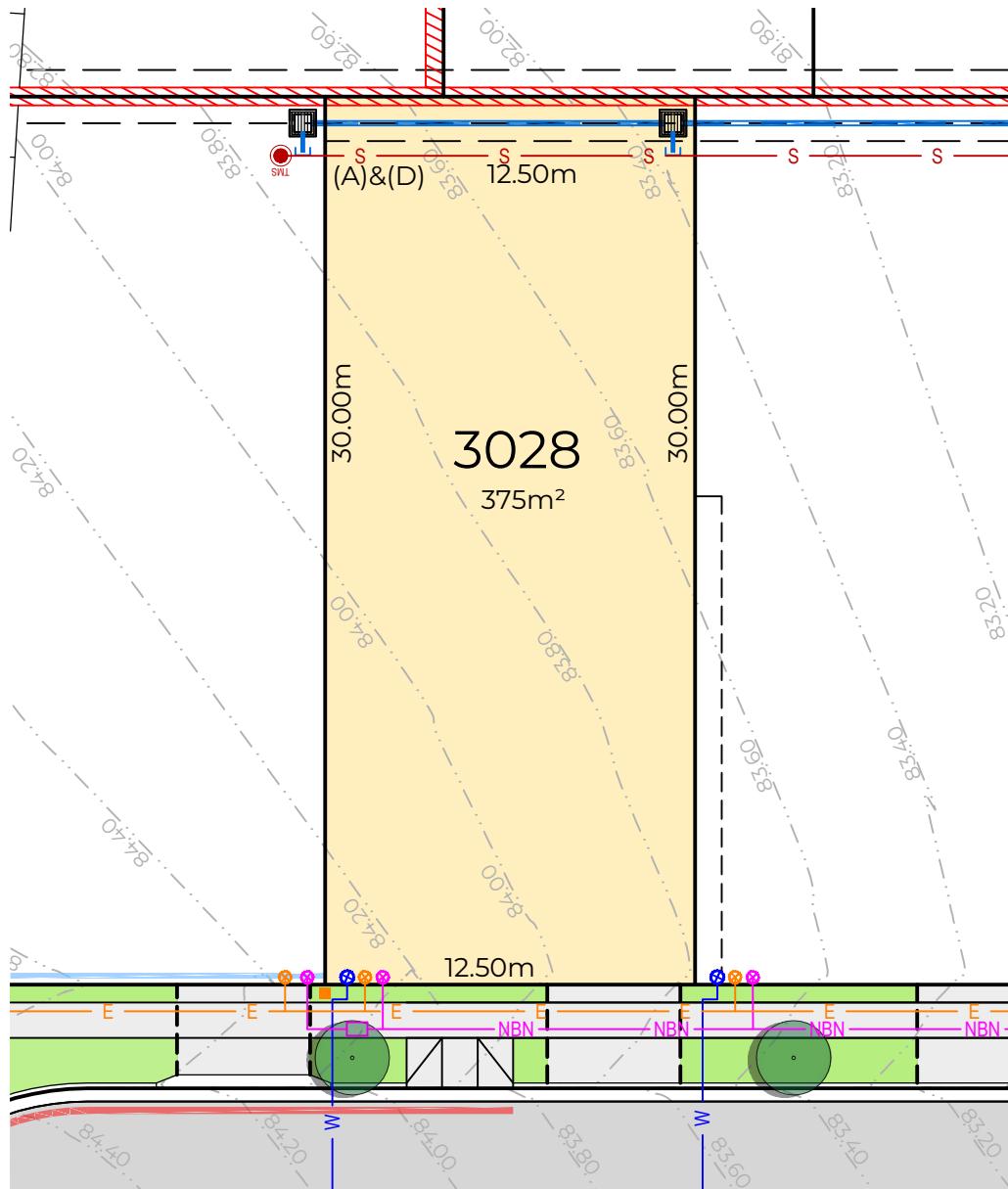
975 The Northern Road,  
Bringelly NSW 2556

0 5m  
SCALE 1:250

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# Lot 3028

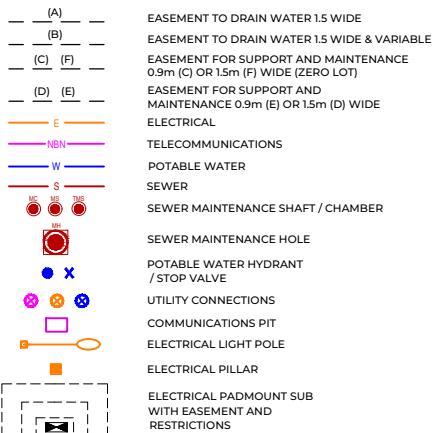
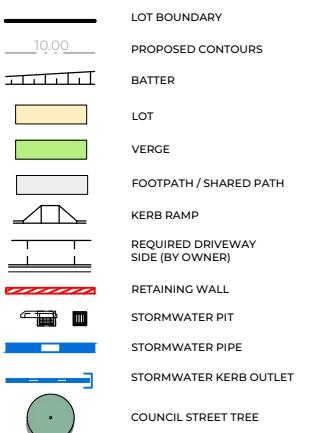
STAGE 03 | THE HILLTOP



B

BIRLING

Lot Plan



0  
5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

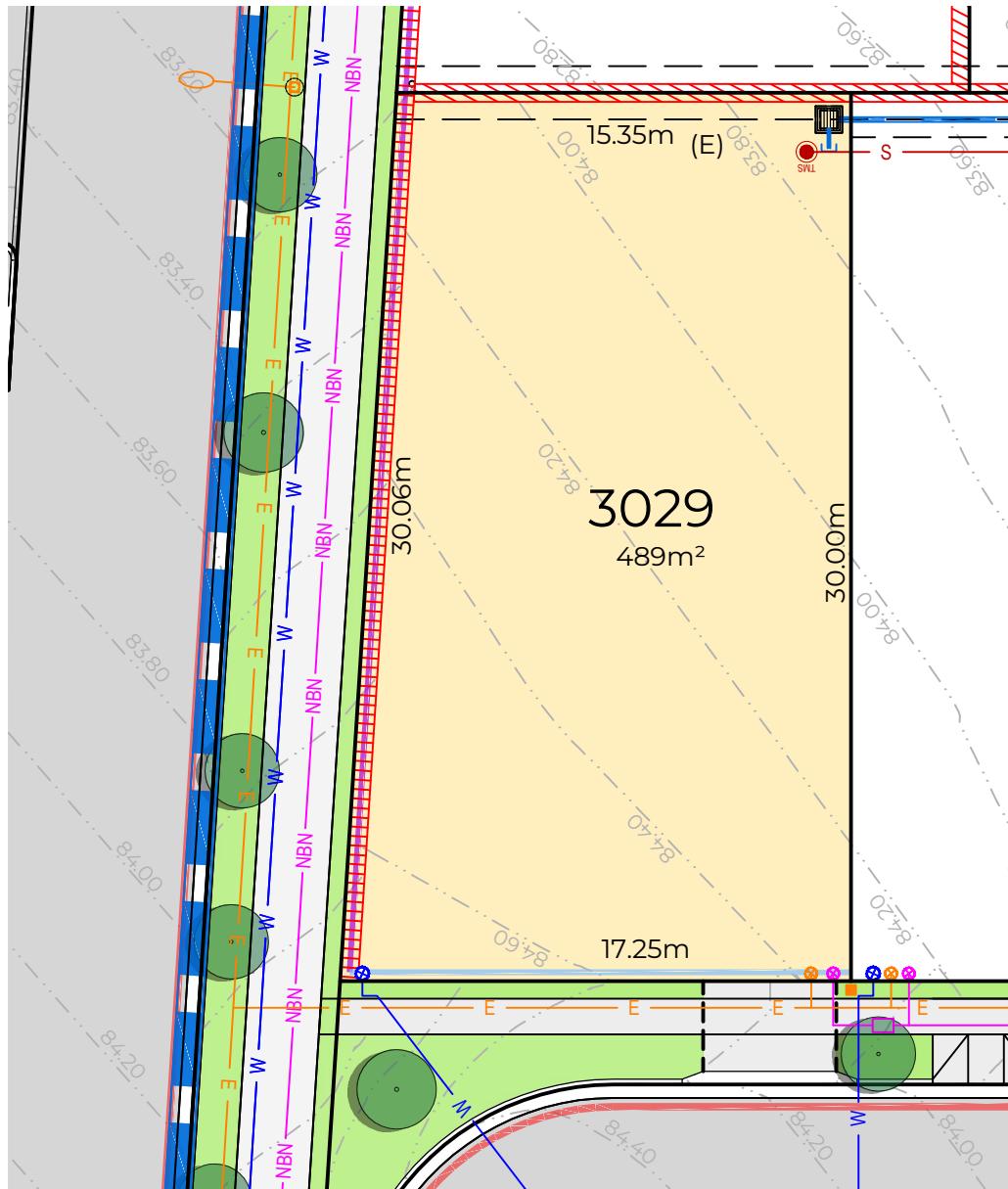
SALES CENTRE

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Bringelly NSW 2556

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# Lot 3029

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan

02 9050 0555

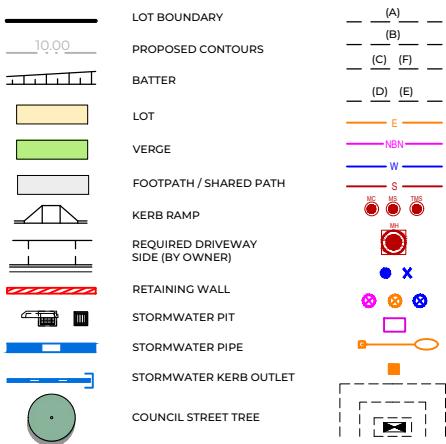
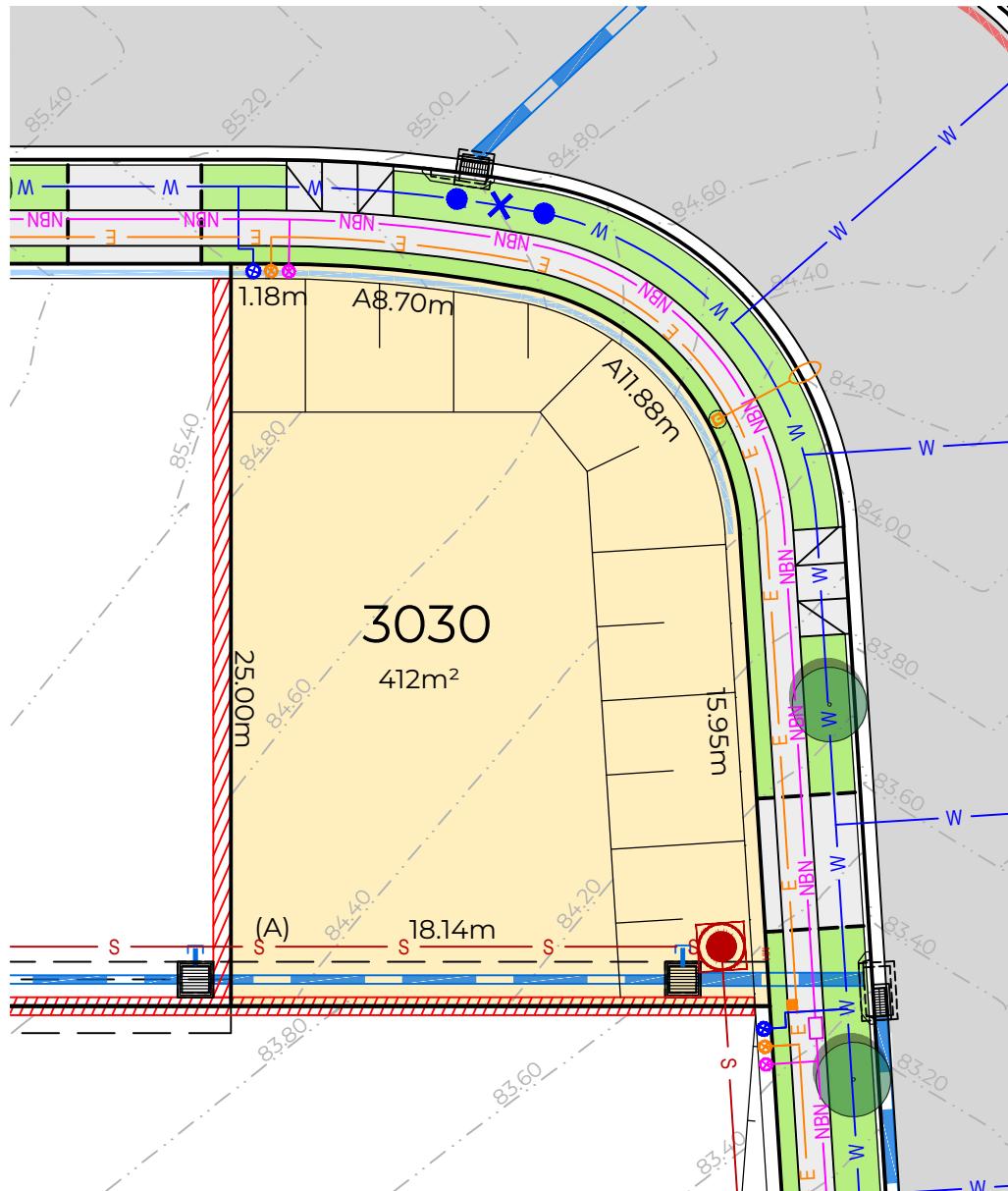
## SALES CENTRE

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Bringelly NSW 2556

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# Lot 3030

STAGE 03 | THE HILLTOP

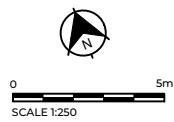


LOT BOUNDARY  
PROPOSED CONTOURS  
BATTER  
LOT  
VERGE  
FOOTPATH / SHARED PATH  
KERB RAMP  
REQUIRED DRIVEWAY SIDE (BY OWNER)  
RETAINING WALL  
STORMWATER PIT  
STORMWATER PIPE  
STORMWATER KERB OUTLET  
COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
(B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
(C) (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
(D) (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT / STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract  
**Note** Acoustic controls apply to this lot - Refer Sales Contract.  
**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



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# BIRLING

## Lot Plan

02 9050 0555

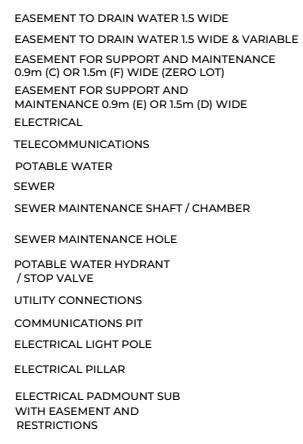
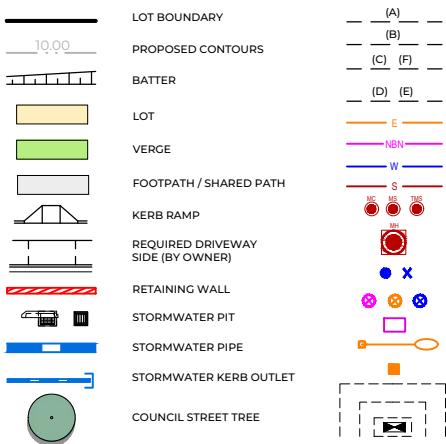
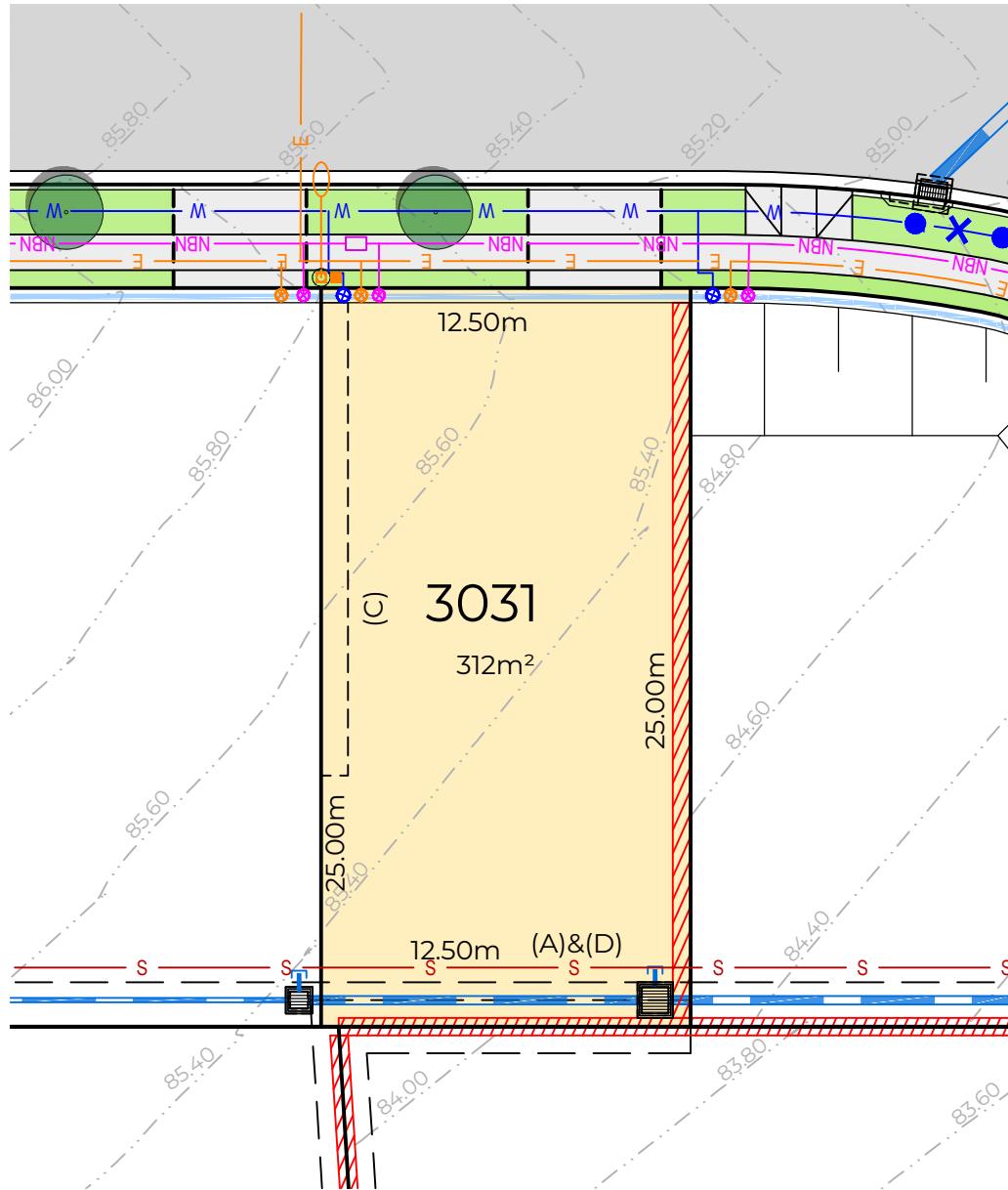
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3031

## STAGE 03 | THE HILLTOP



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** Type 3 front fence restriction by owner as denoted by 

**Note** On-street parking restrictions apply as denoted by 



A scale bar at the bottom left of the map, showing a horizontal line with tick marks at 0 and 5 meters, and the text 'SCALE 1:250' below it.

# Lot Plan

02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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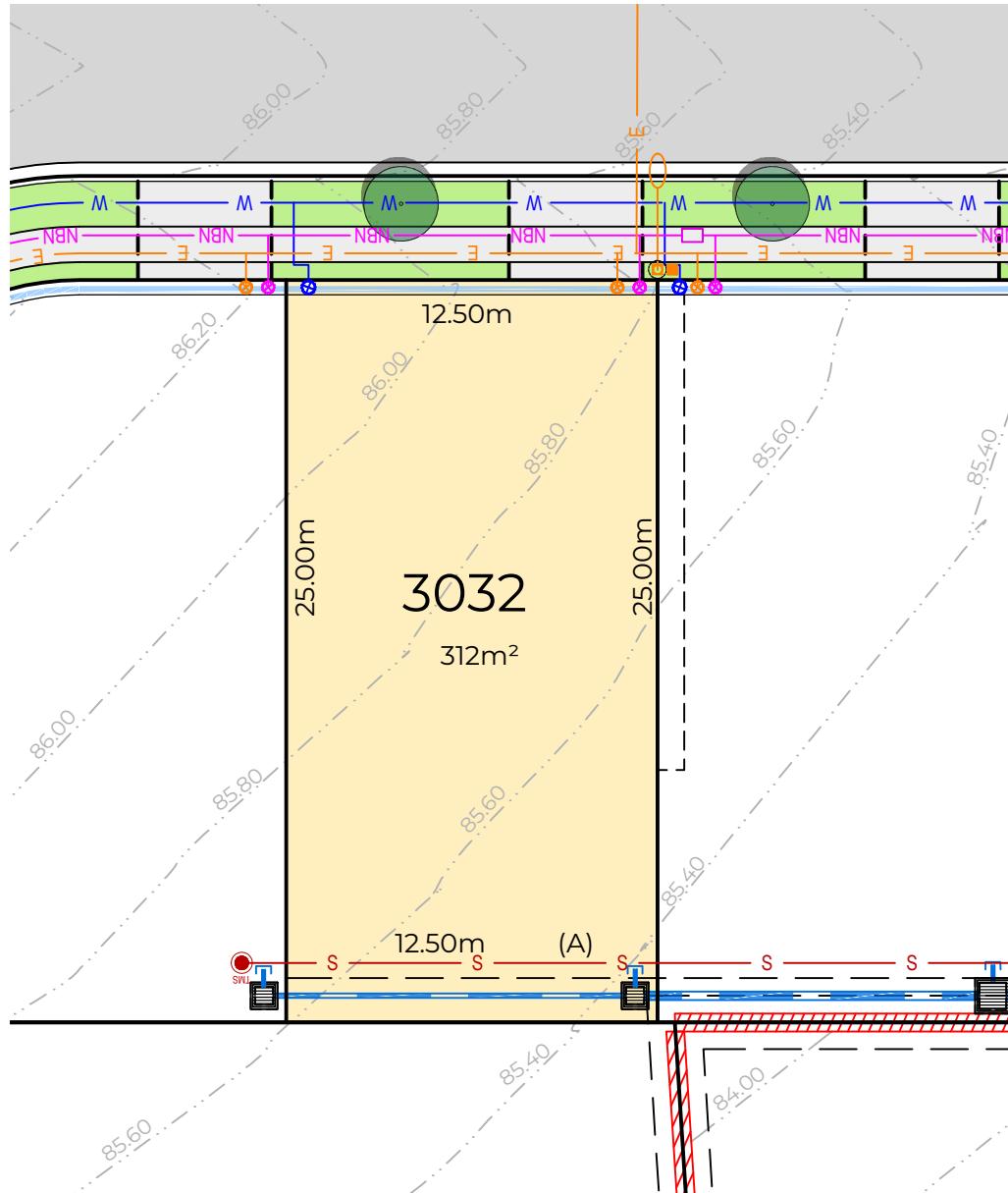
# Lot 3032

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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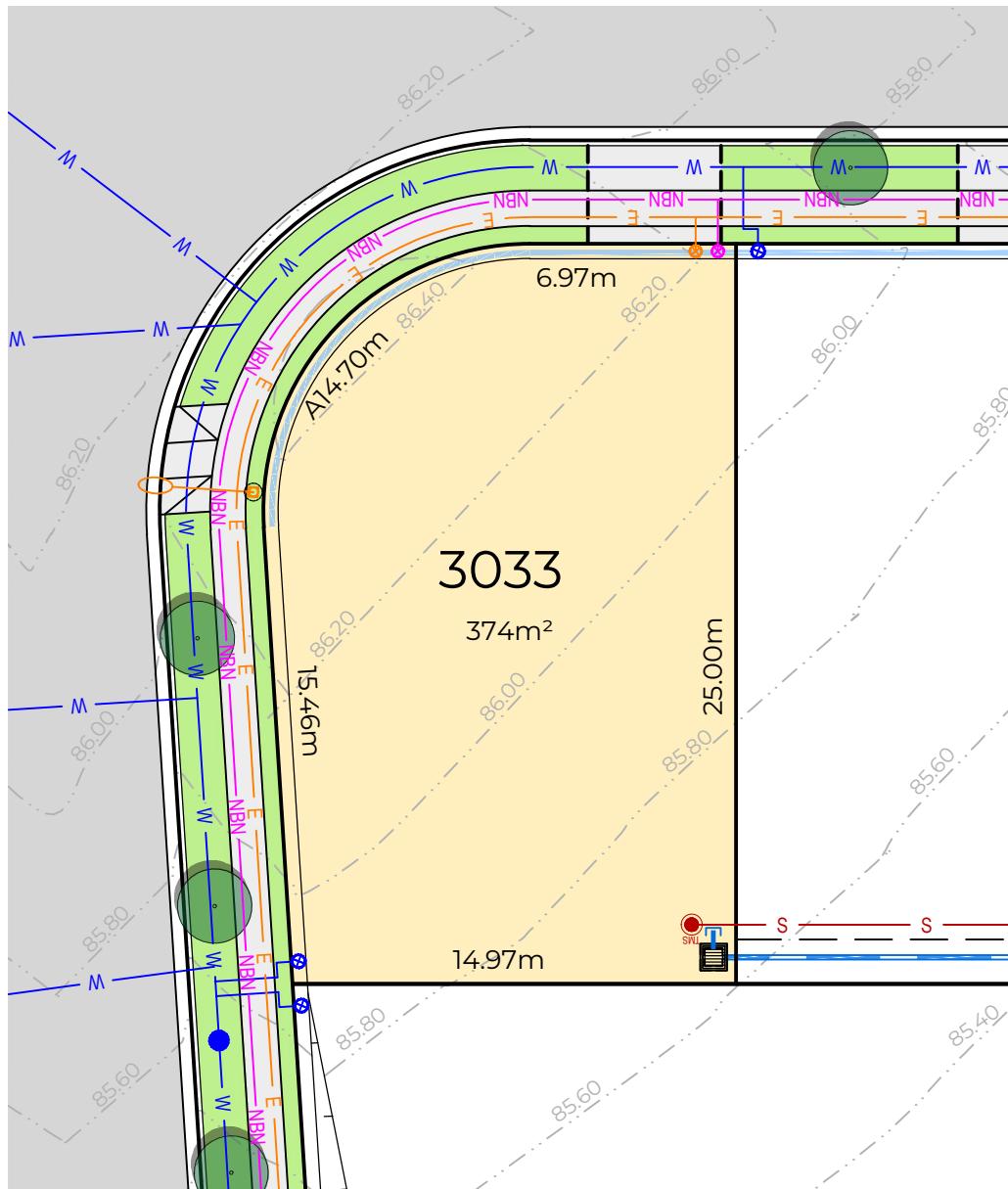
# Lot 3033

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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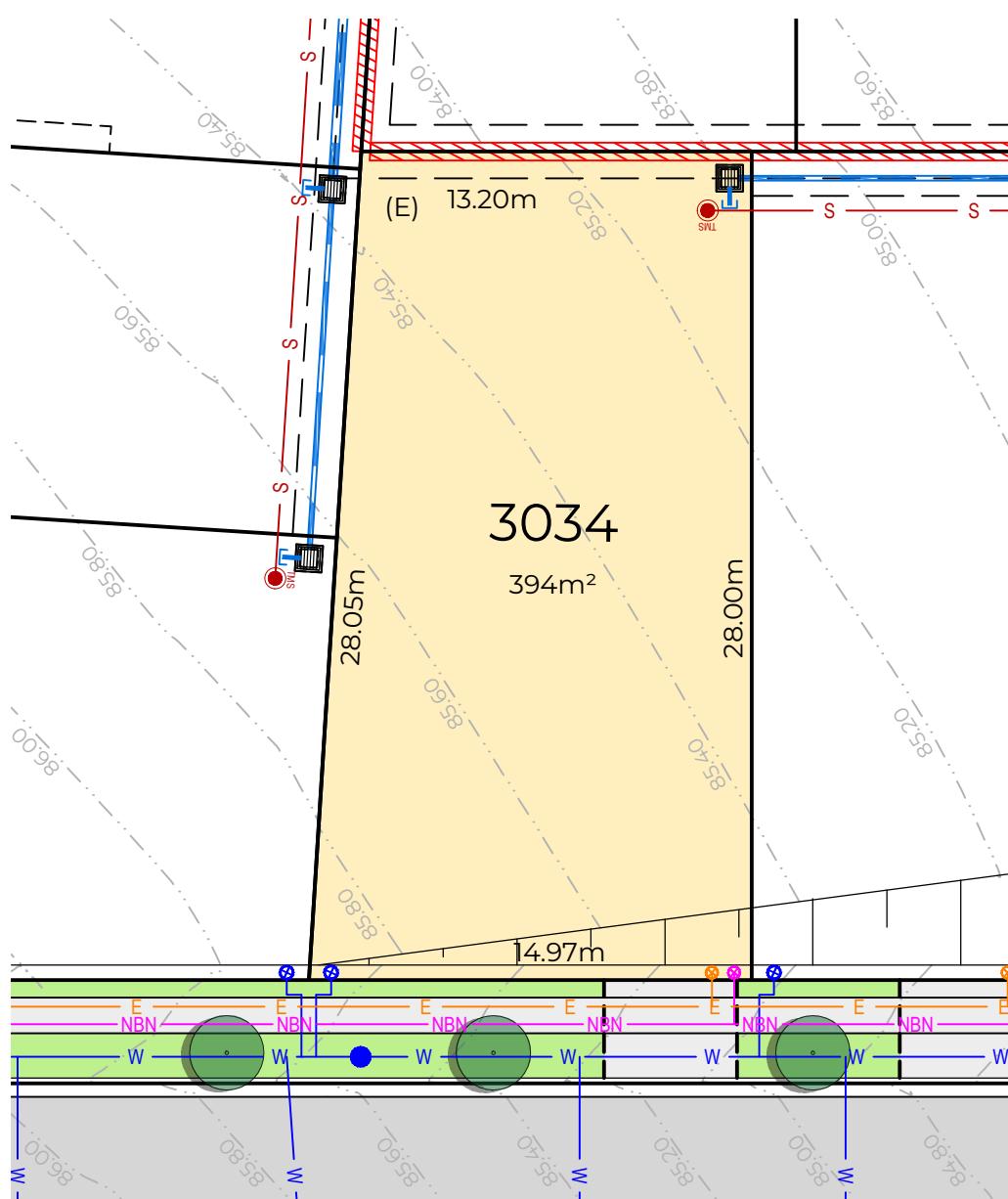
# Lot 3034

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



LOT BOUNDARY	(A)	EASEMENT TO DRAIN WATER 1.5 WIDE
PROPOSED CONTOURS	(B)	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
BATTER	(C) (F)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
LOT	(D) (E)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
VERGE	E	ELECTRICAL
FOOTPATH / SHARED PATH	NBN	TELECOMMUNICATIONS
KERB RAMP	W	POTABLE WATER
REQUIRED DRIVEWAY SIDE (BY OWNER)	S	SEWER
RETAINING WALL	MS	SEWER MAINTENANCE SHAFT / CHAMBER
STORMWATER PIT	MS	SEWER MAINTENANCE HOLE
STORMWATER PIPE	MS	POTABLE WATER HYDRANT / STOP VALVE
STORMWATER KERB OUTLET	MS	UTILITY CONNECTIONS
COUNCIL STREET TREE	MS	COMMUNICATIONS PIT
	MS	ELECTRICAL LIGHT POLE
	MS	ELECTRICAL PILLAR
	MS	ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

Scale: 0 5m  
Scale 1:250

02 9050 0555

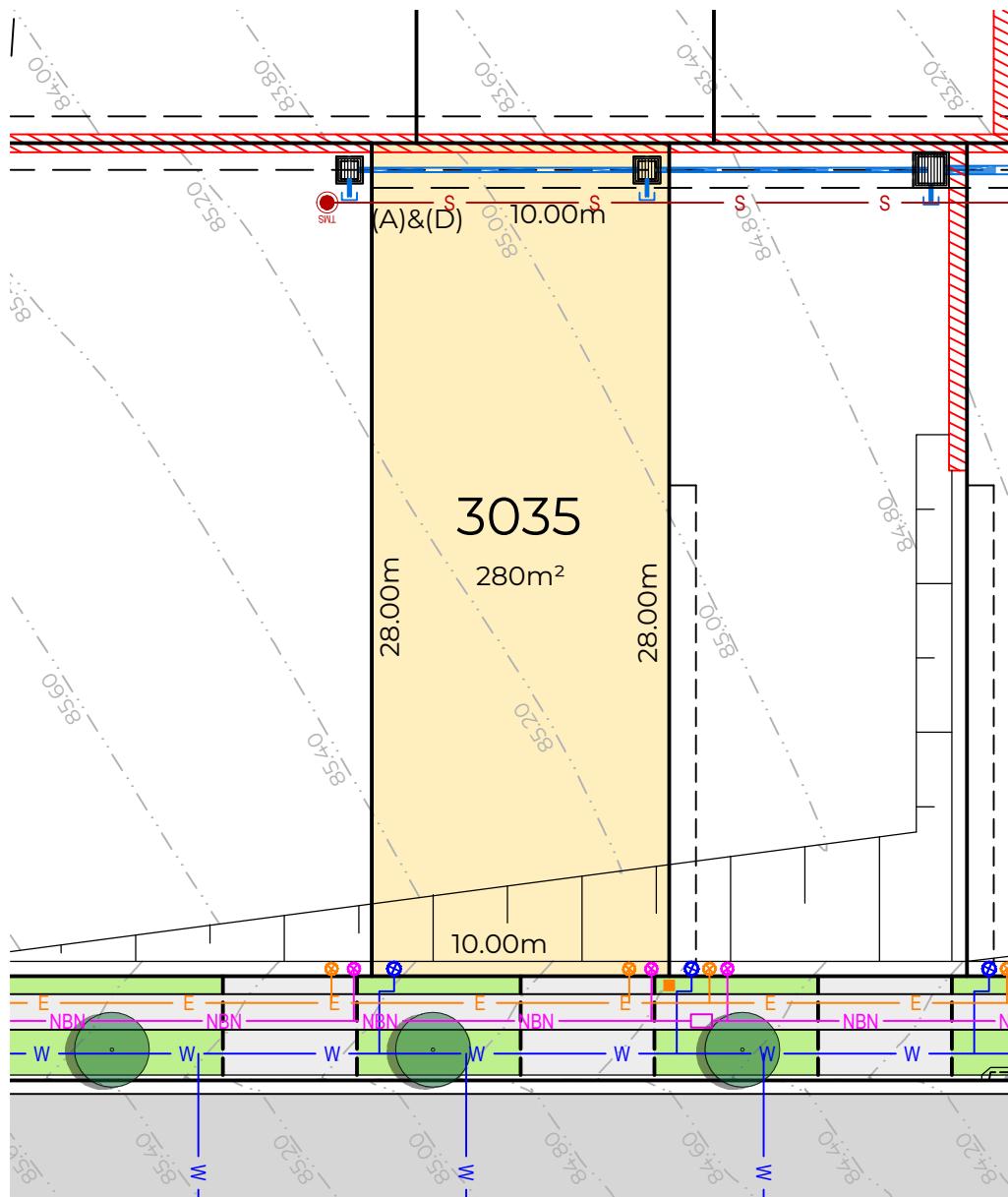
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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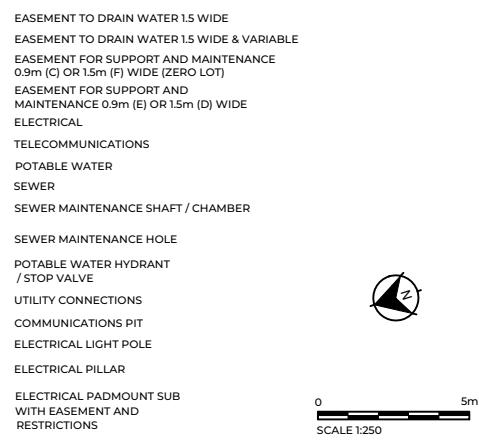
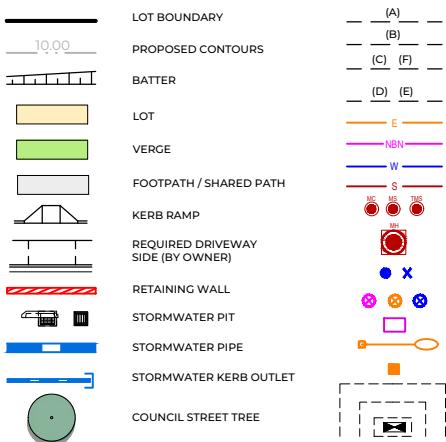
# Lot 3035

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



02 9050 0555

SALES CENTRE

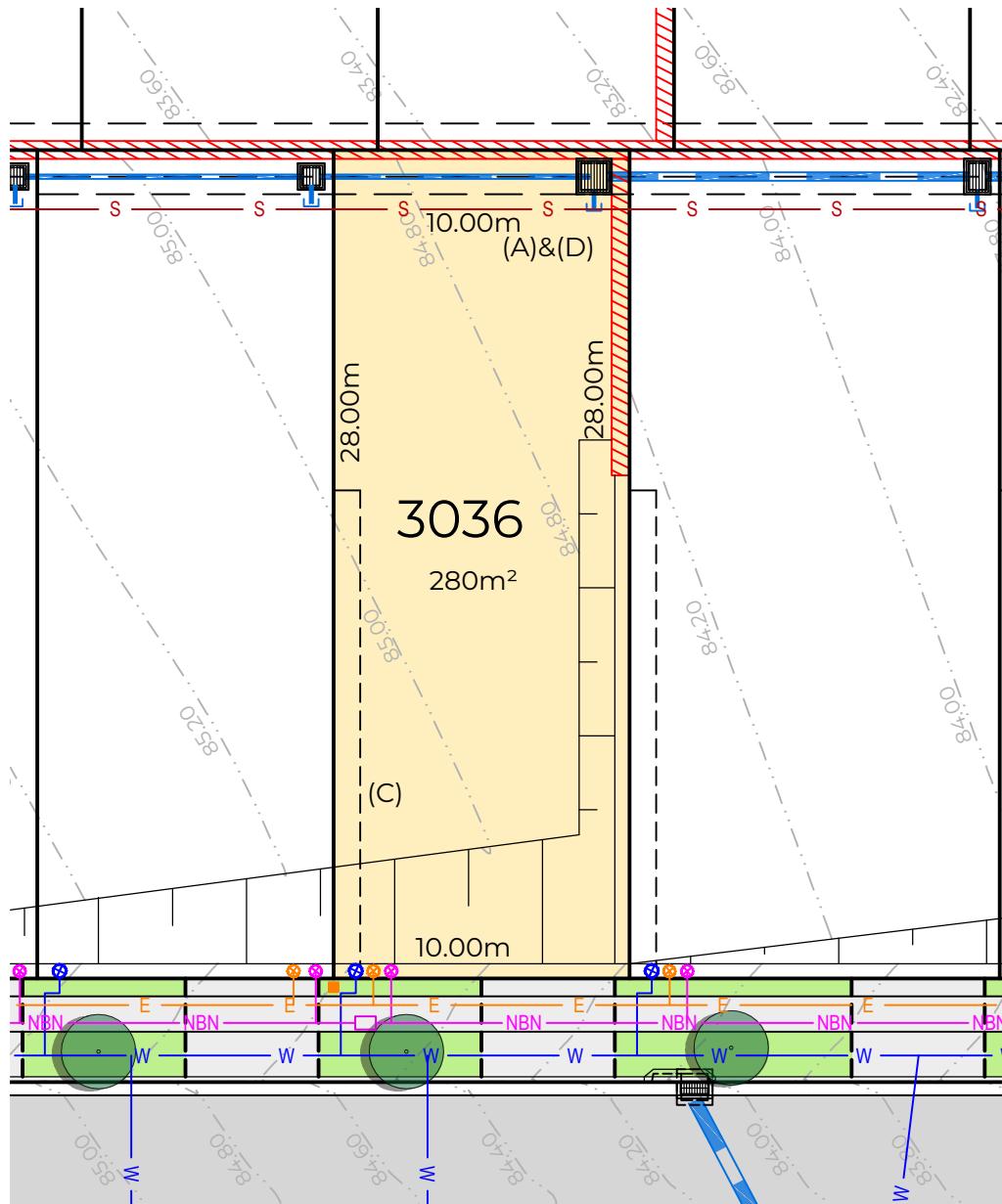
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3036

STAGE 03 | THE HILLTOP



B

BIRLING

Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

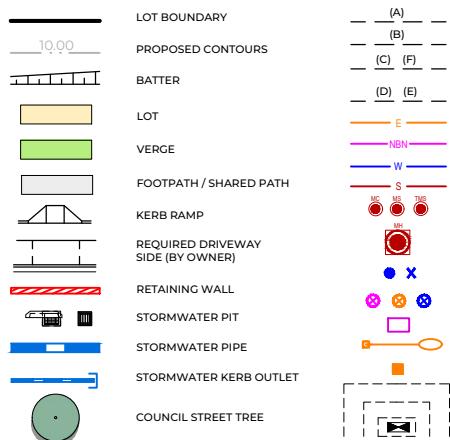
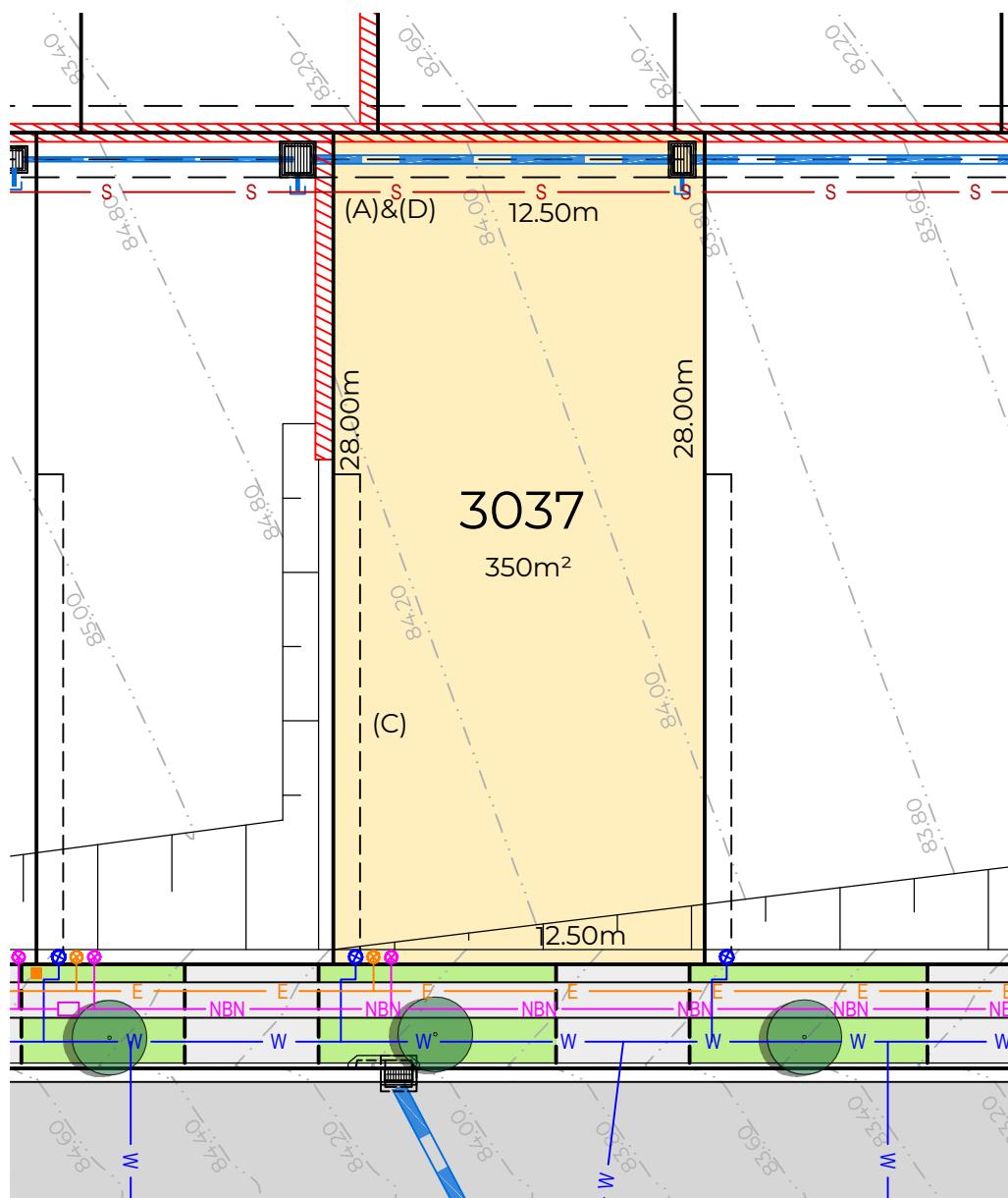
**Disclaimer** The information provided in this layout plan is approximate only and intended as a guide to assist with further planning by potential purchasers. Dimensions and location of services and services infrastructure may vary in accordance with the Contract for Sale and Purchase of Land in respect of this lot and are subject to survey. Birling Estate has used reasonable endeavours to ensure that the information in this plan reflects the intended layout and locations as at the date of preparation. A purchaser should not rely on this plan for building purposes and further investigations should be carried out and an update sought before designing any improvements. References to "Birling Estate" include Birling Estate Developments Pty Ltd ACN 668 807 663, Birling Estate Pty Ltd ACN 657 548 073, and their holding company Cameron Brae Pty Ltd ACN 000 637 525. Prepared 4 September 2025.

0  
5m  
SCALE 1:250

Cameron Brae  
GROUP

# Lot 3037

STAGE 03 | THE HILLTOP



LOT BOUNDARY  
PROPOSED CONTOURS  
BATTER  
LOT  
VERGE  
FOOTPATH / SHARED PATH  
KERB RAMP  
REQUIRED DRIVEWAY SIDE (BY OWNER)  
RETAINING WALL  
STORMWATER PIT  
STORMWATER PIPE  
STORMWATER KERB OUTLET  
COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
(B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
(C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
(D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT / STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

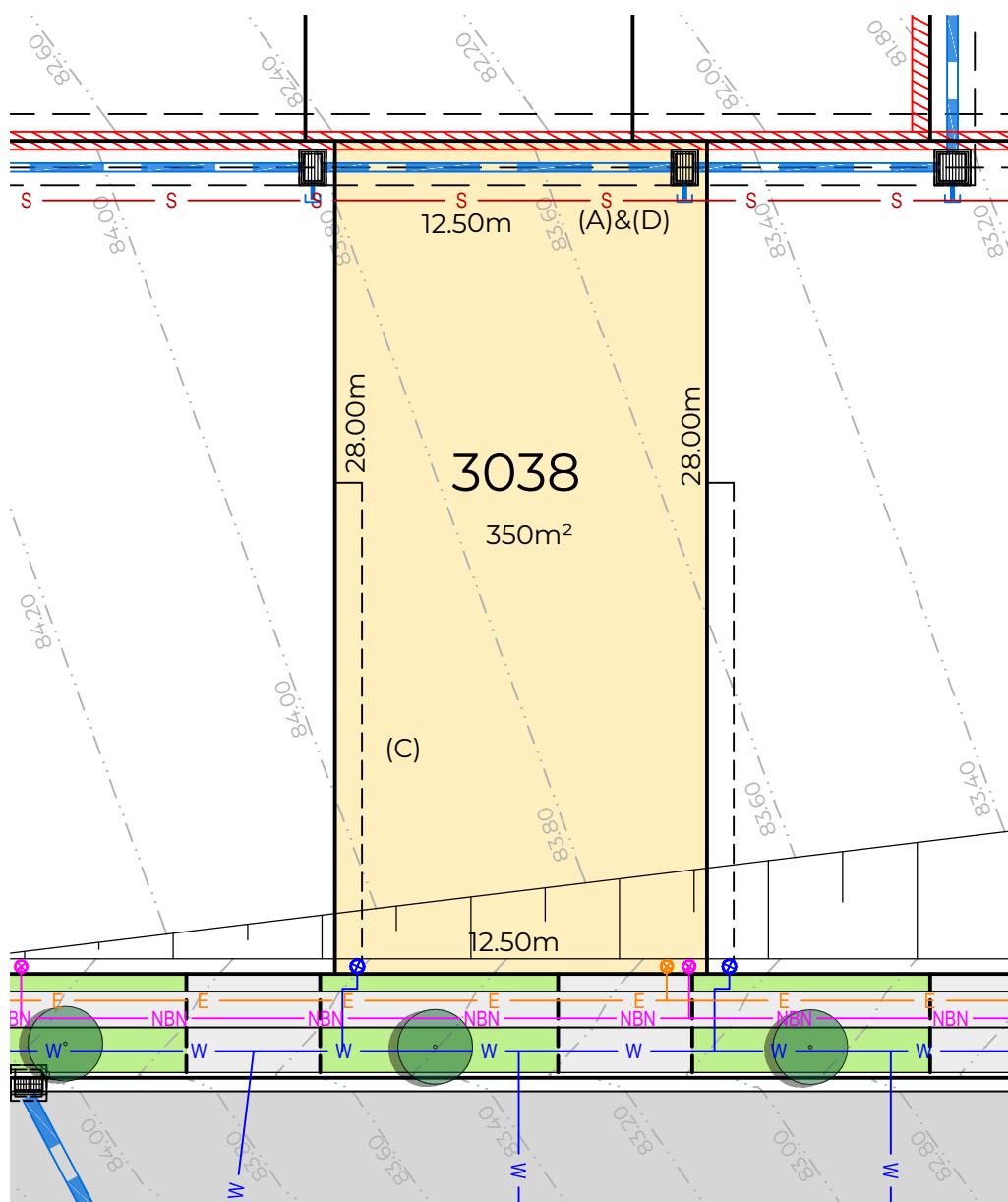
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3038

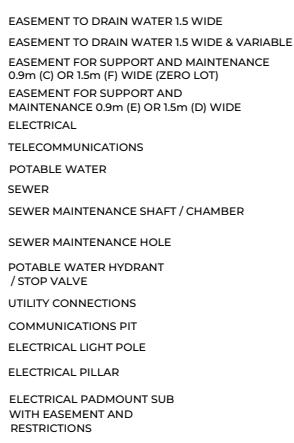
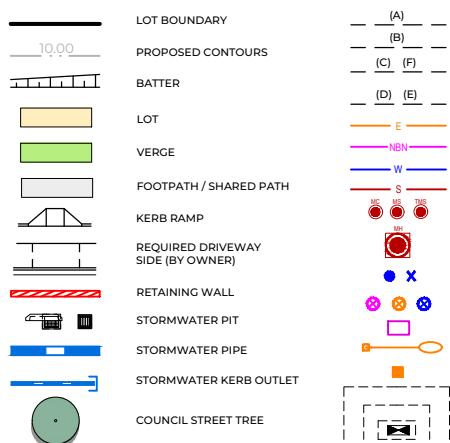
STAGE 03 | THE HILLTOP



B

BIRLING

Lot Plan



0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

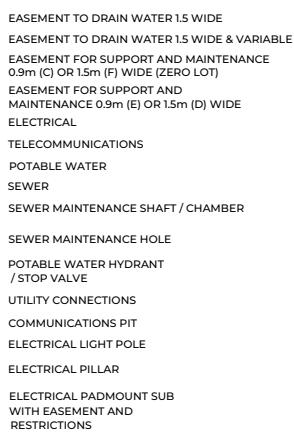
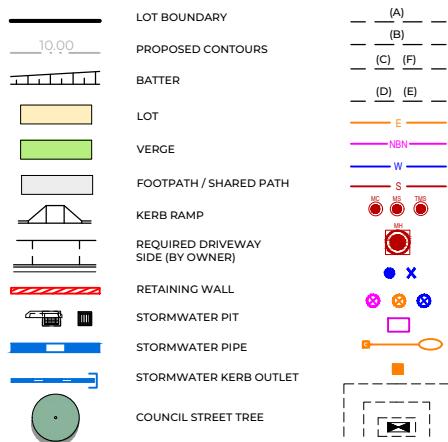
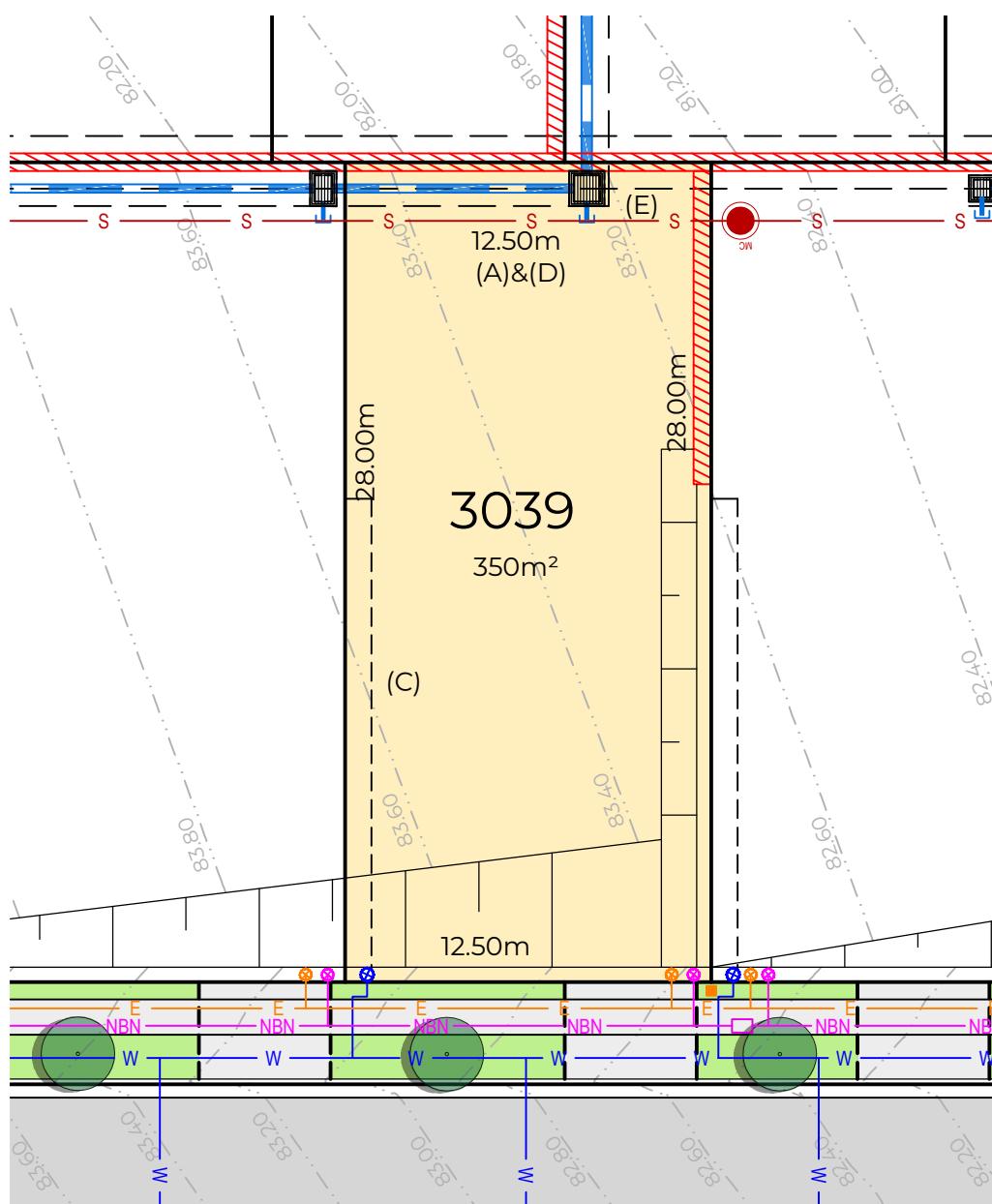
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3039

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

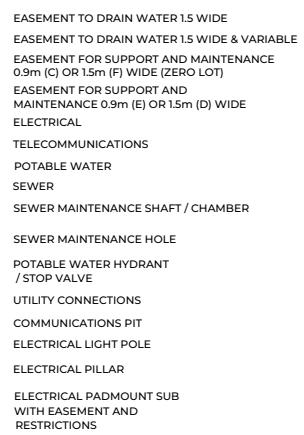
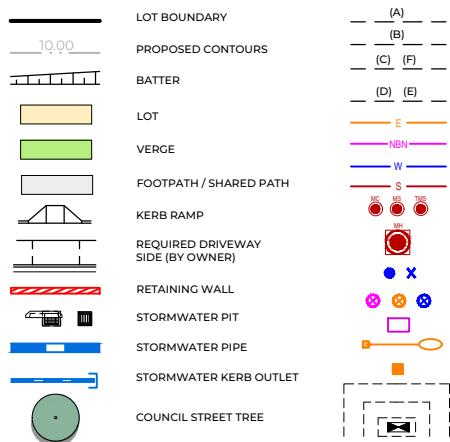
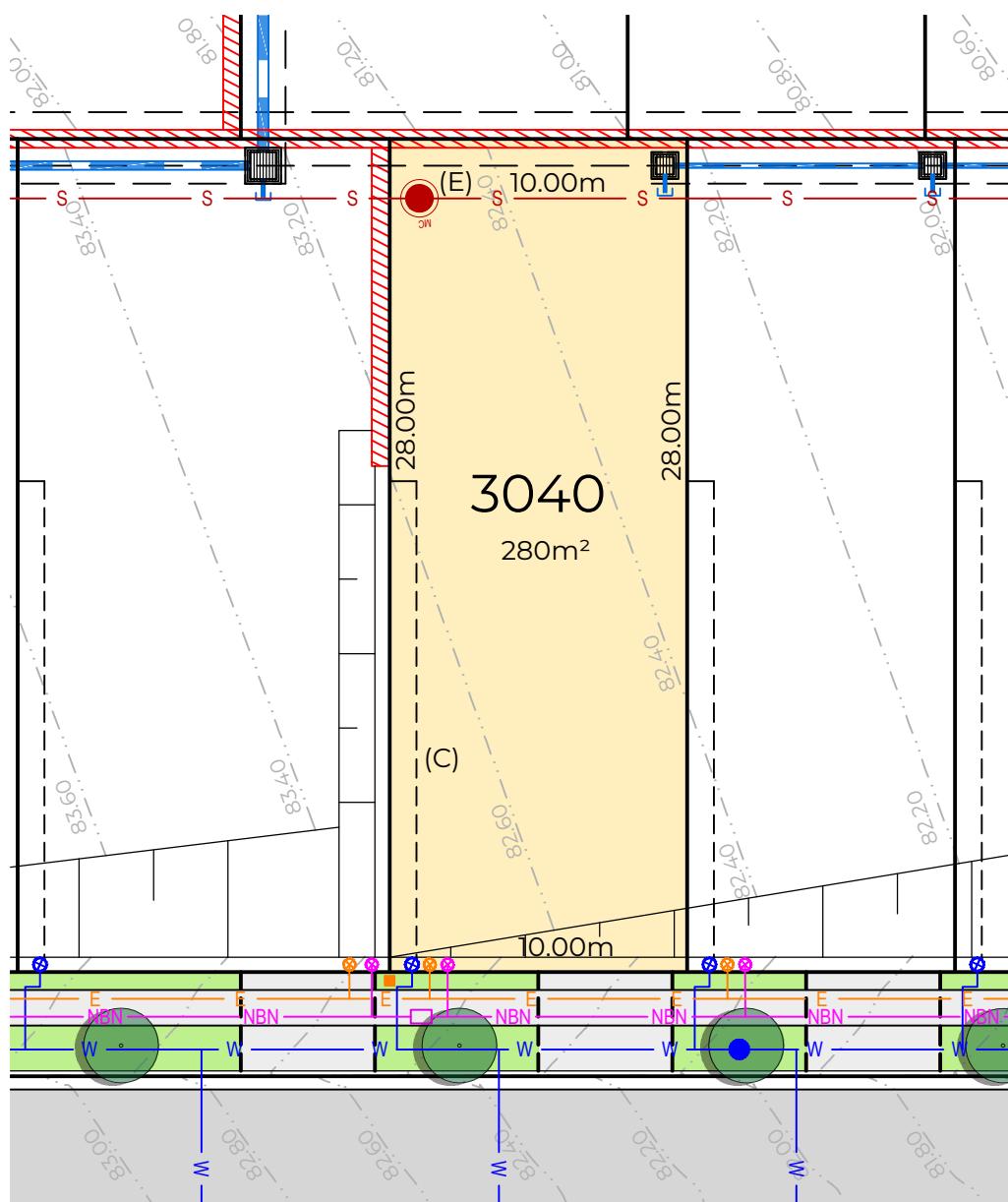
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3040

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

02 9050 0555

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birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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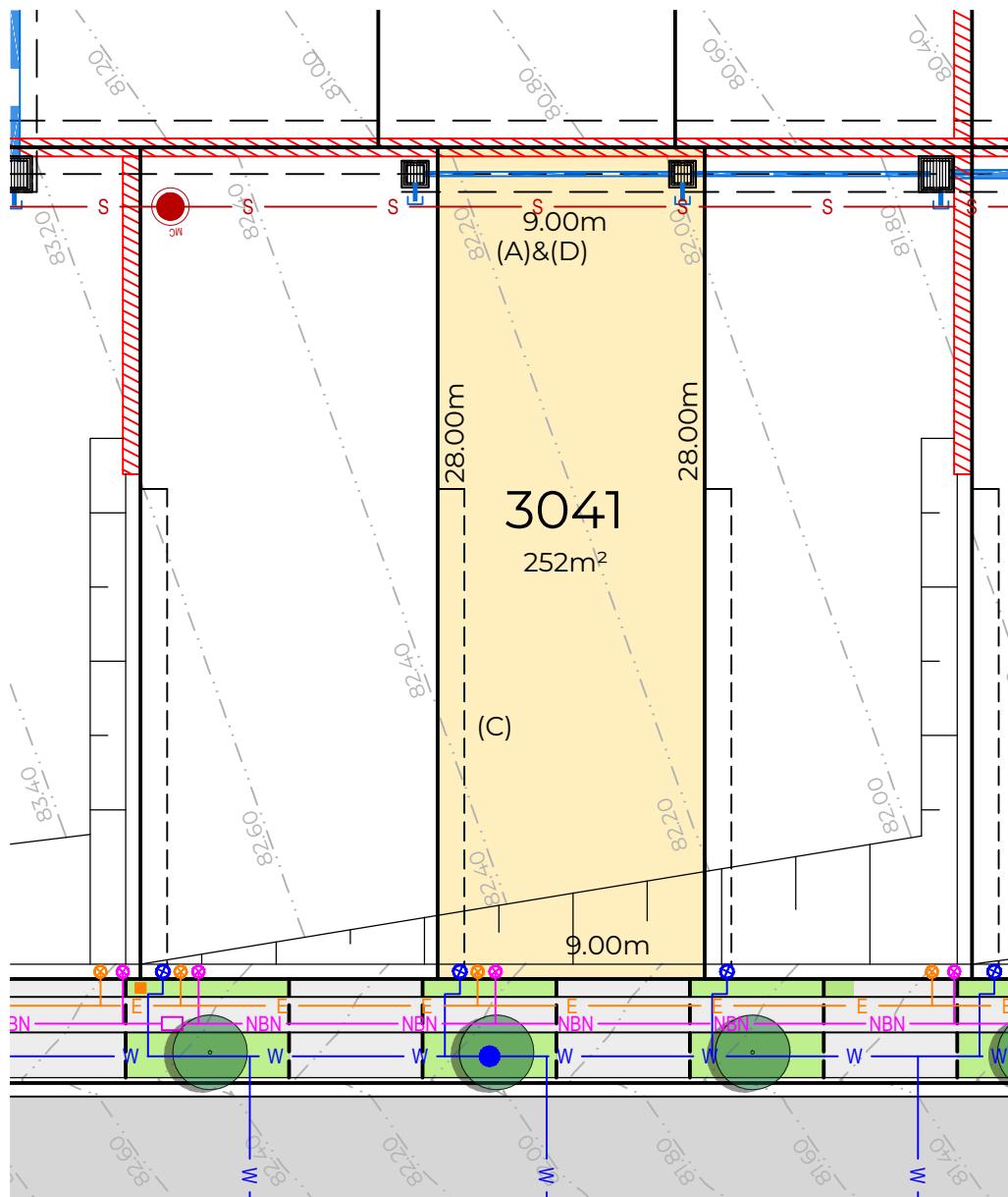
BIRLING

Lot Plan



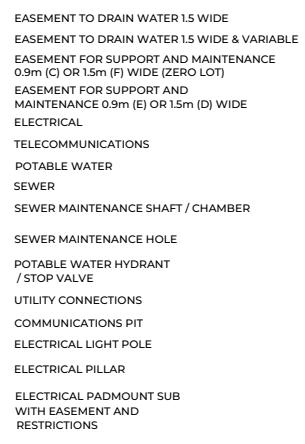
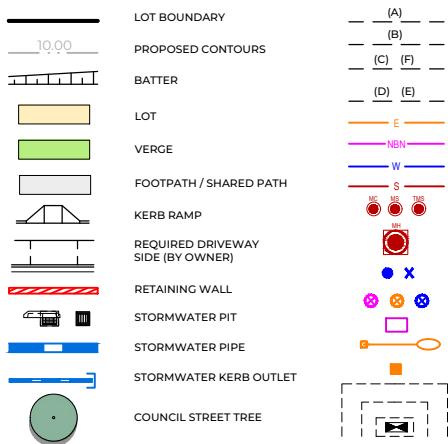
# Lot 3041

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



A scale bar at the bottom left of the map, showing a horizontal line with tick marks at 0 and 5m, and the text 'SCALE 1:250' below it.

02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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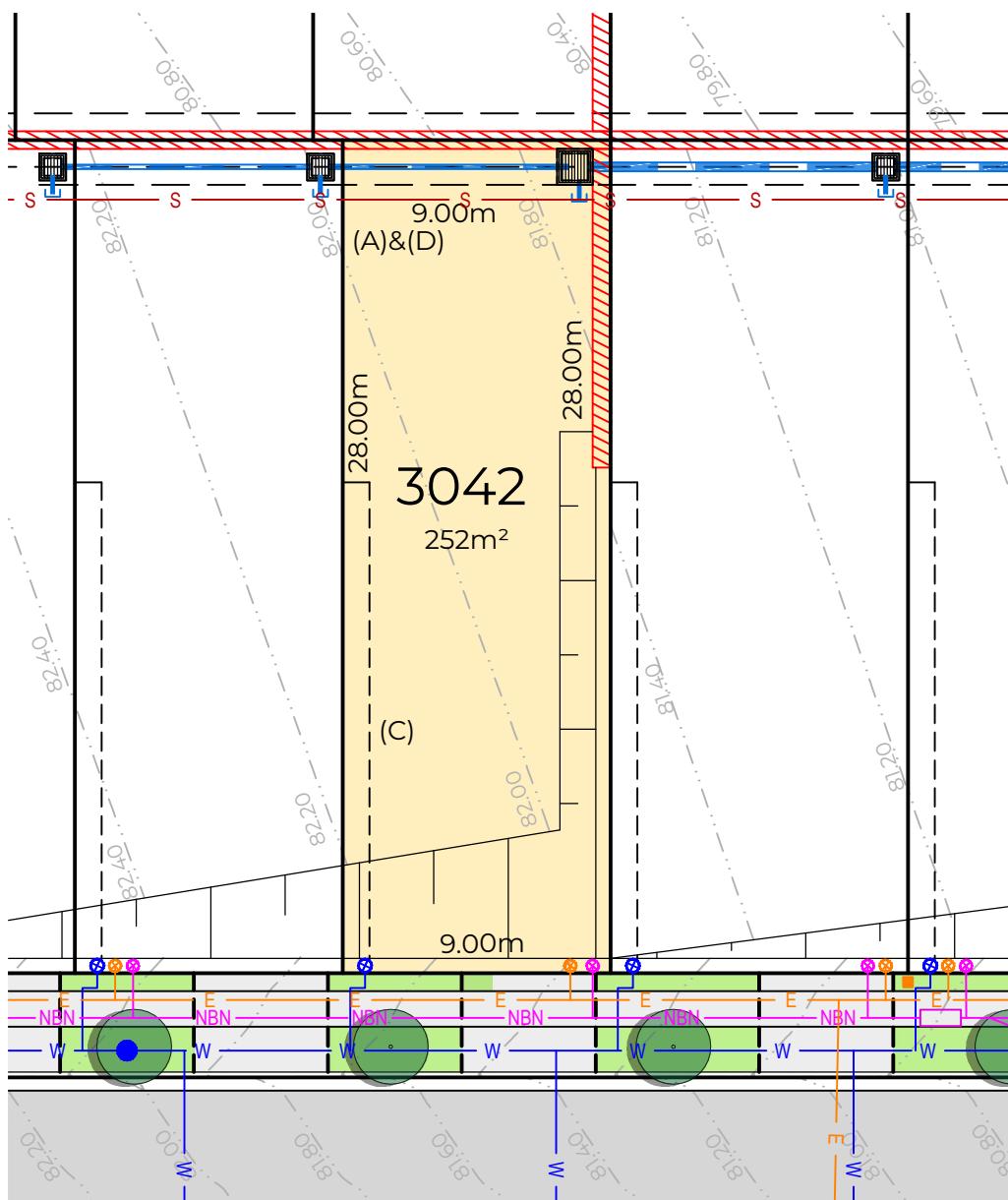
# Lot 3042

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



02 9050 0555

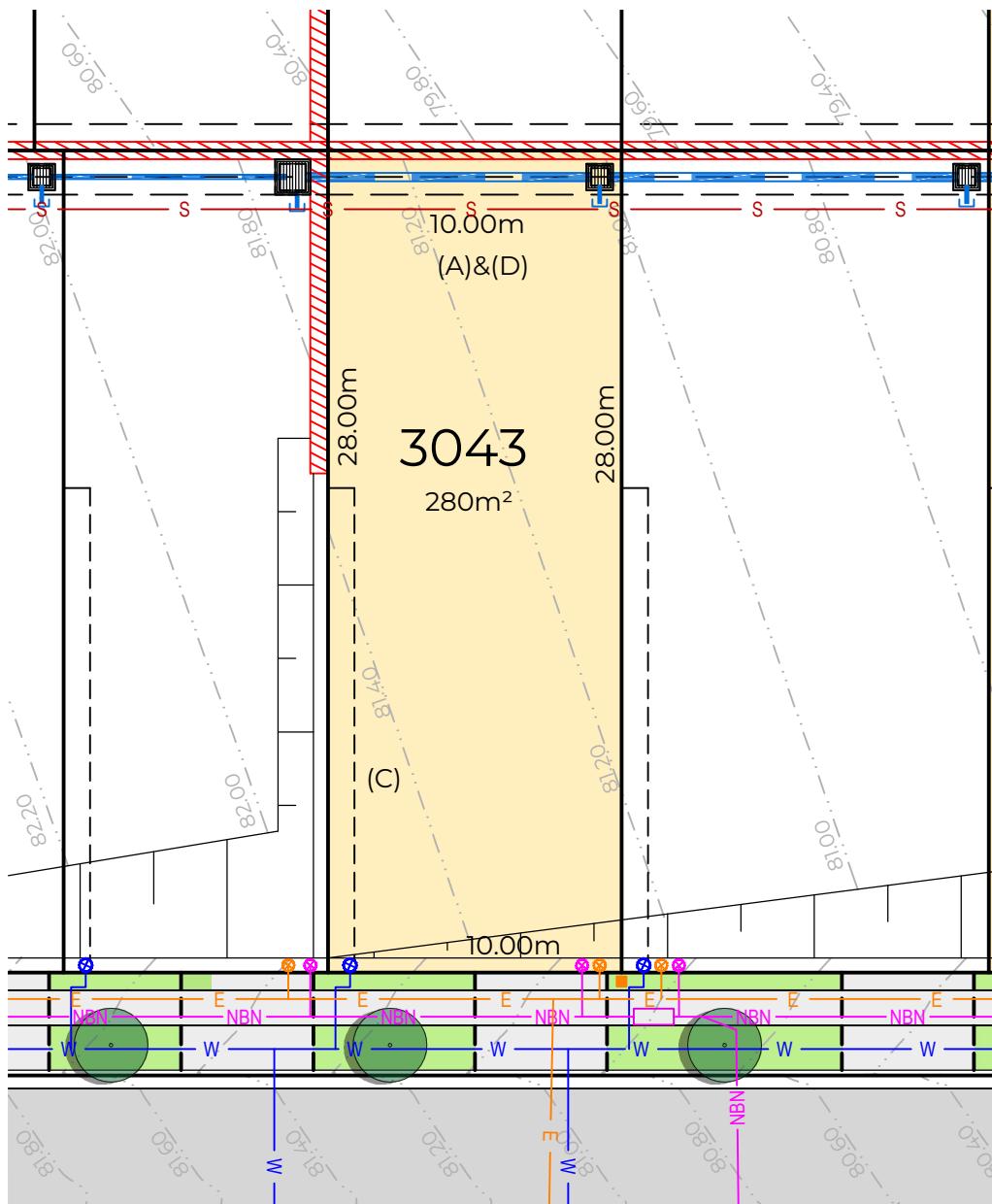
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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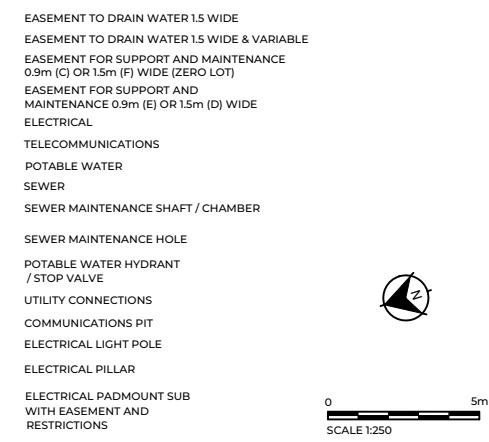
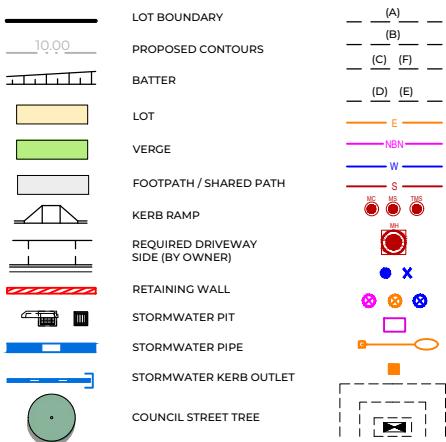
# Lot 3043

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



02 9050 0555

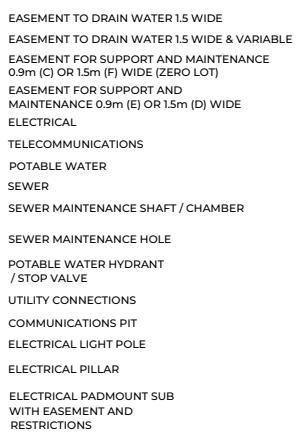
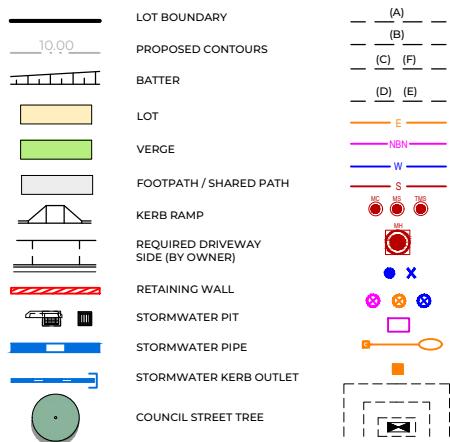
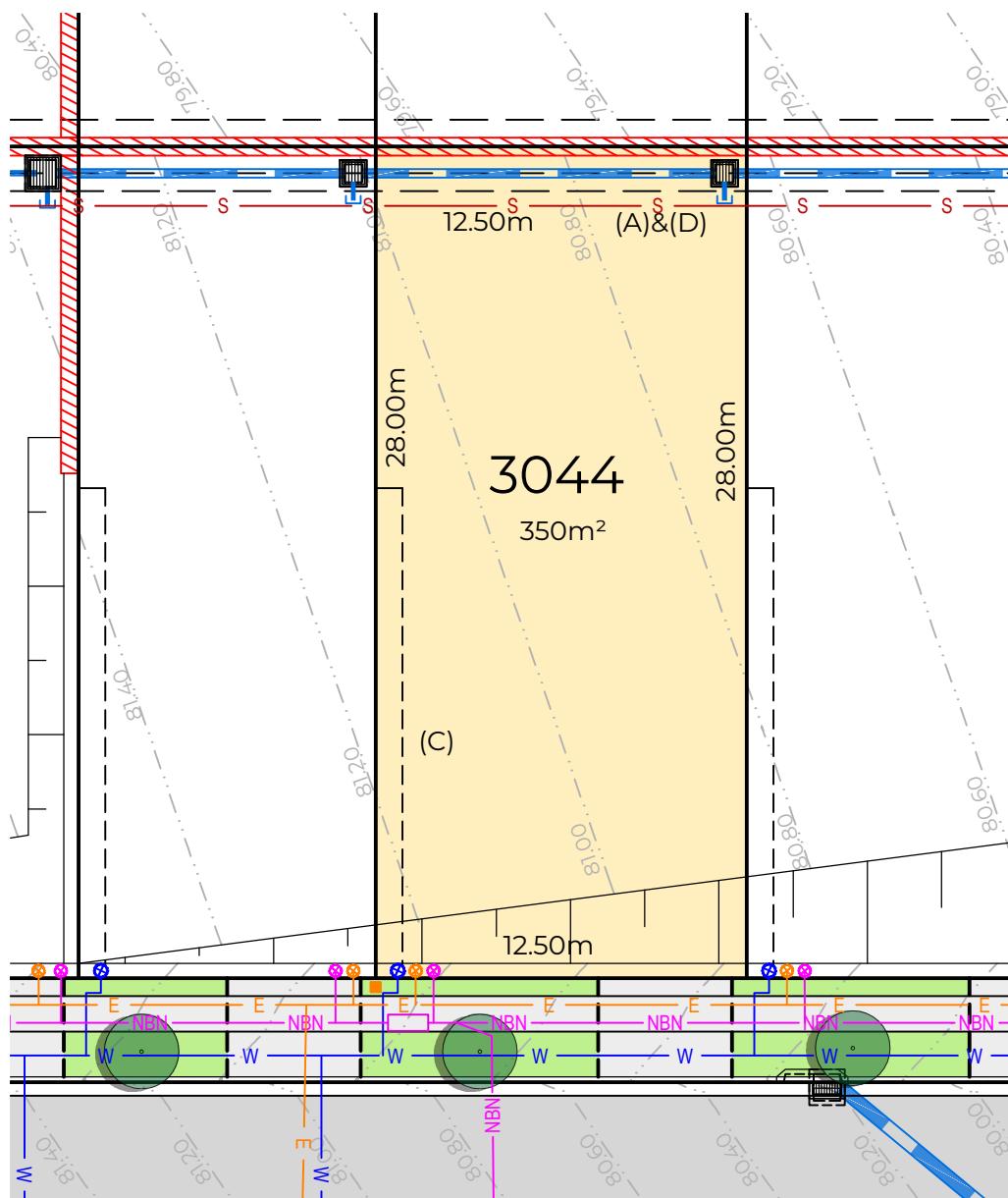
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3044

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

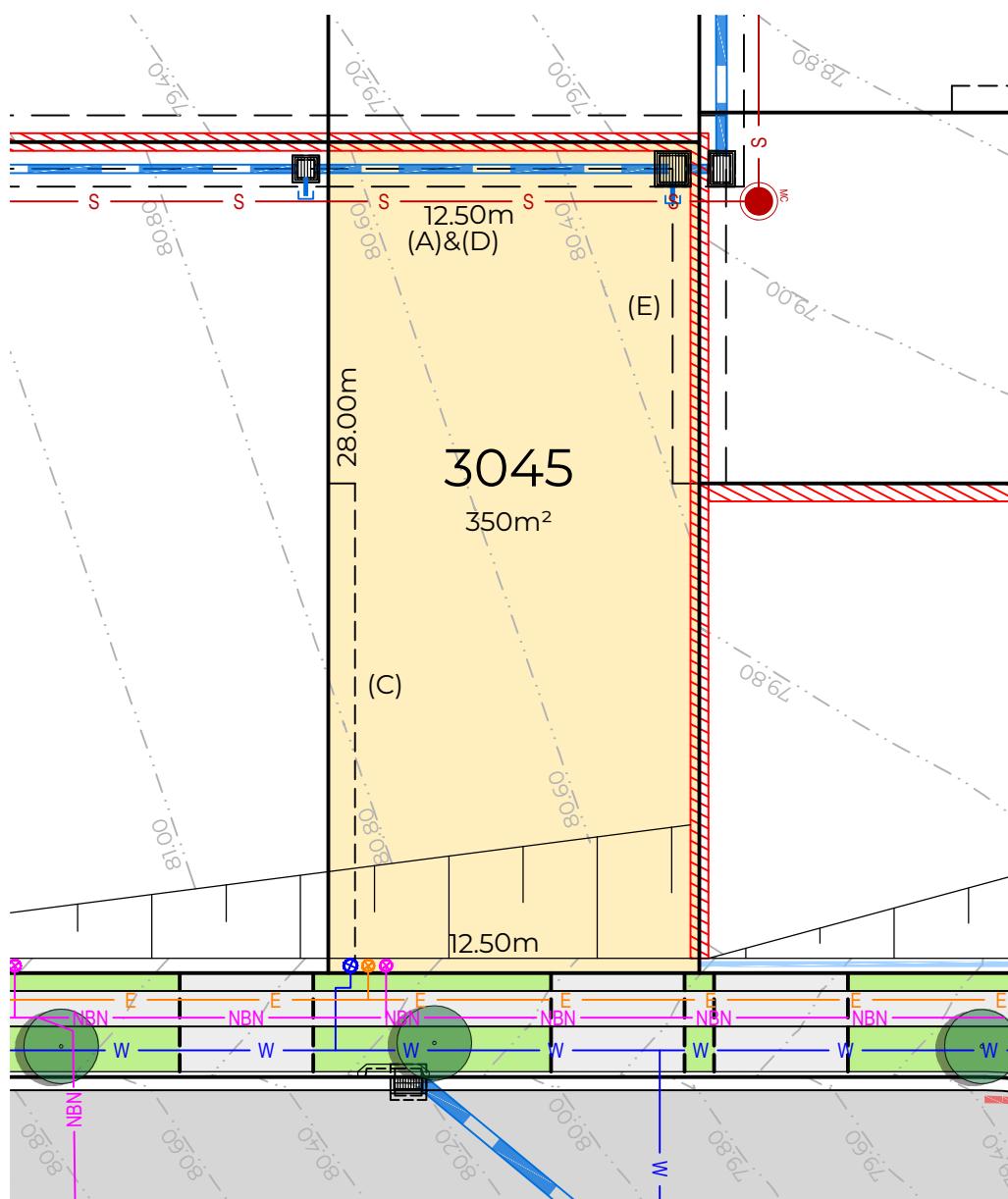
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

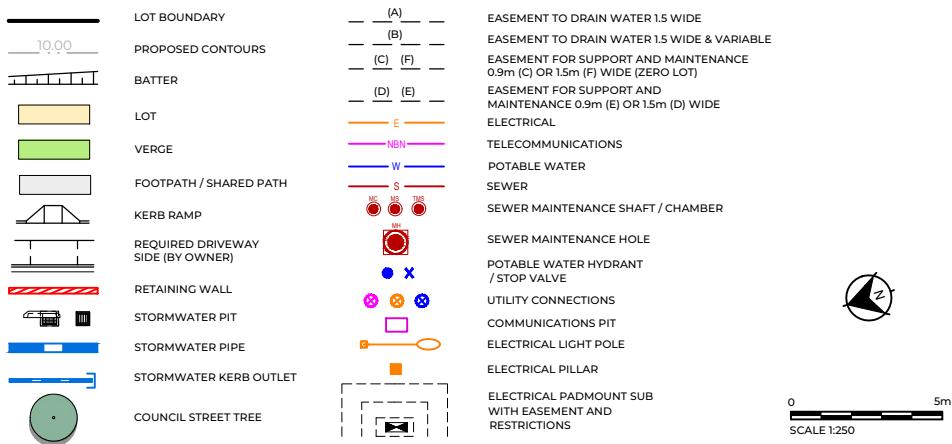
# Lot 3045

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



02 9050 0555

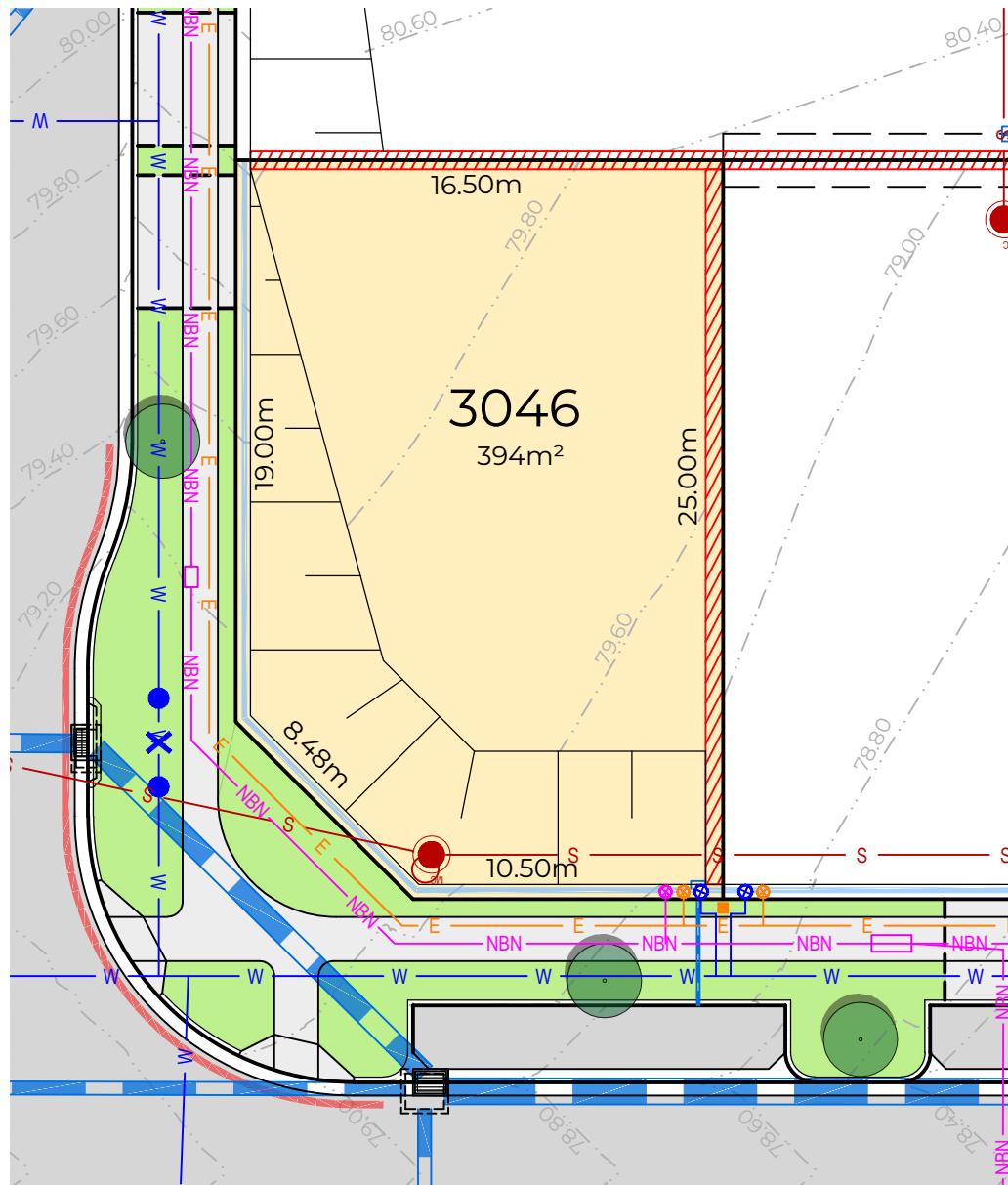
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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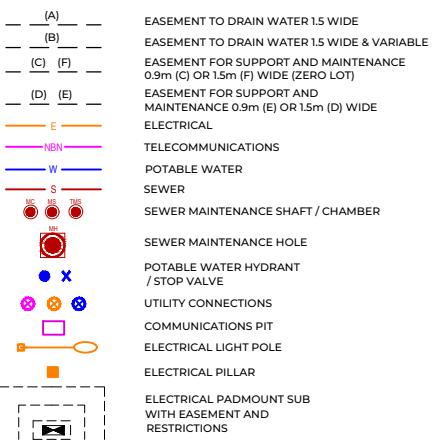
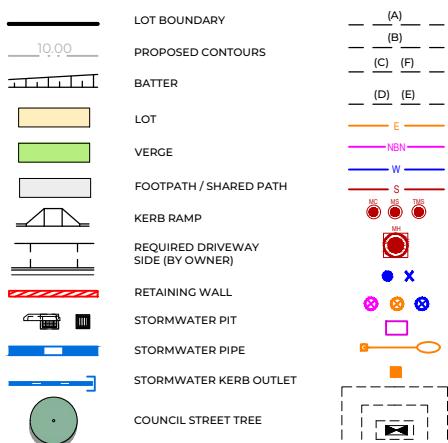
# Lot 3046

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

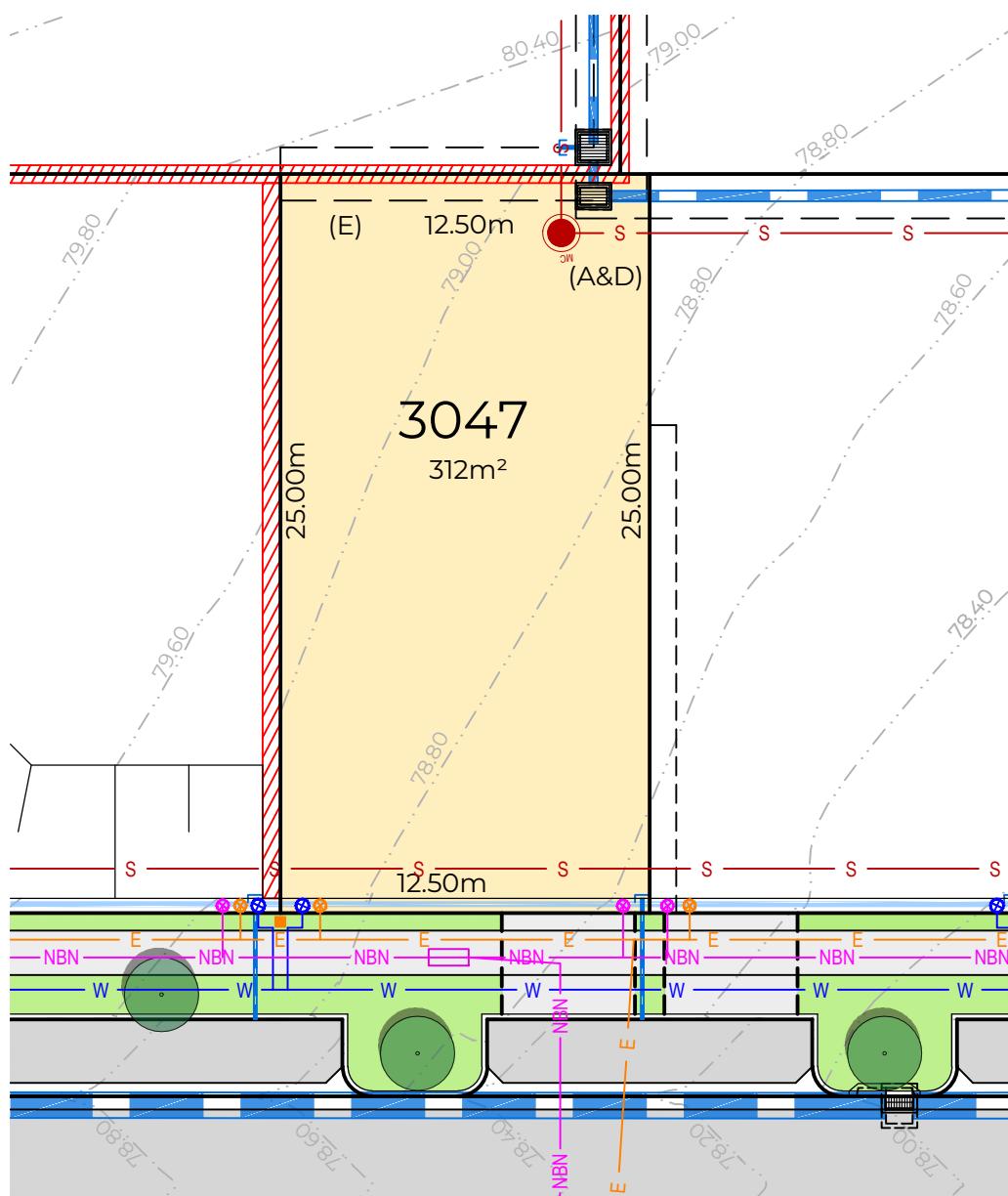
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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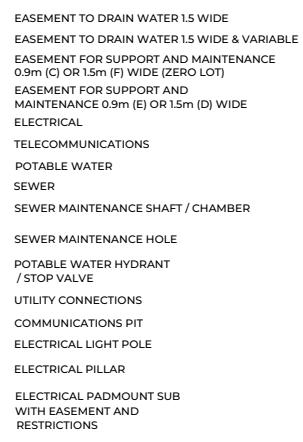
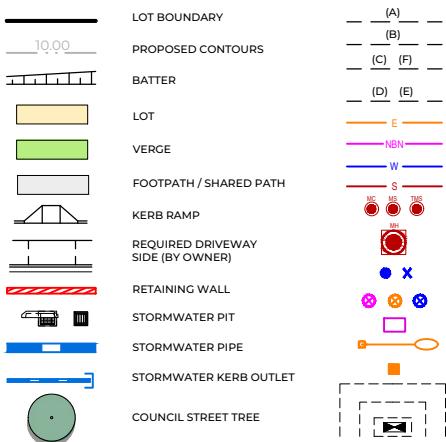
# Lot 3047

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by 



02 9050 0555

## SALES CENTRE

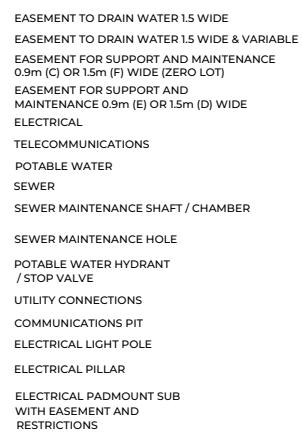
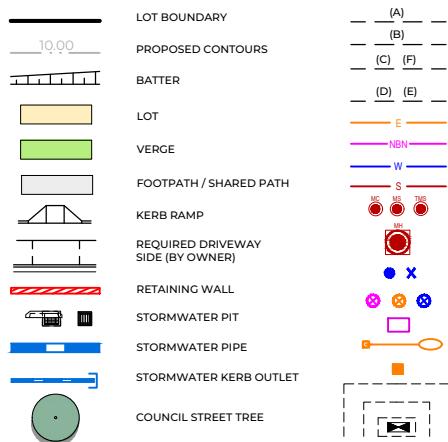
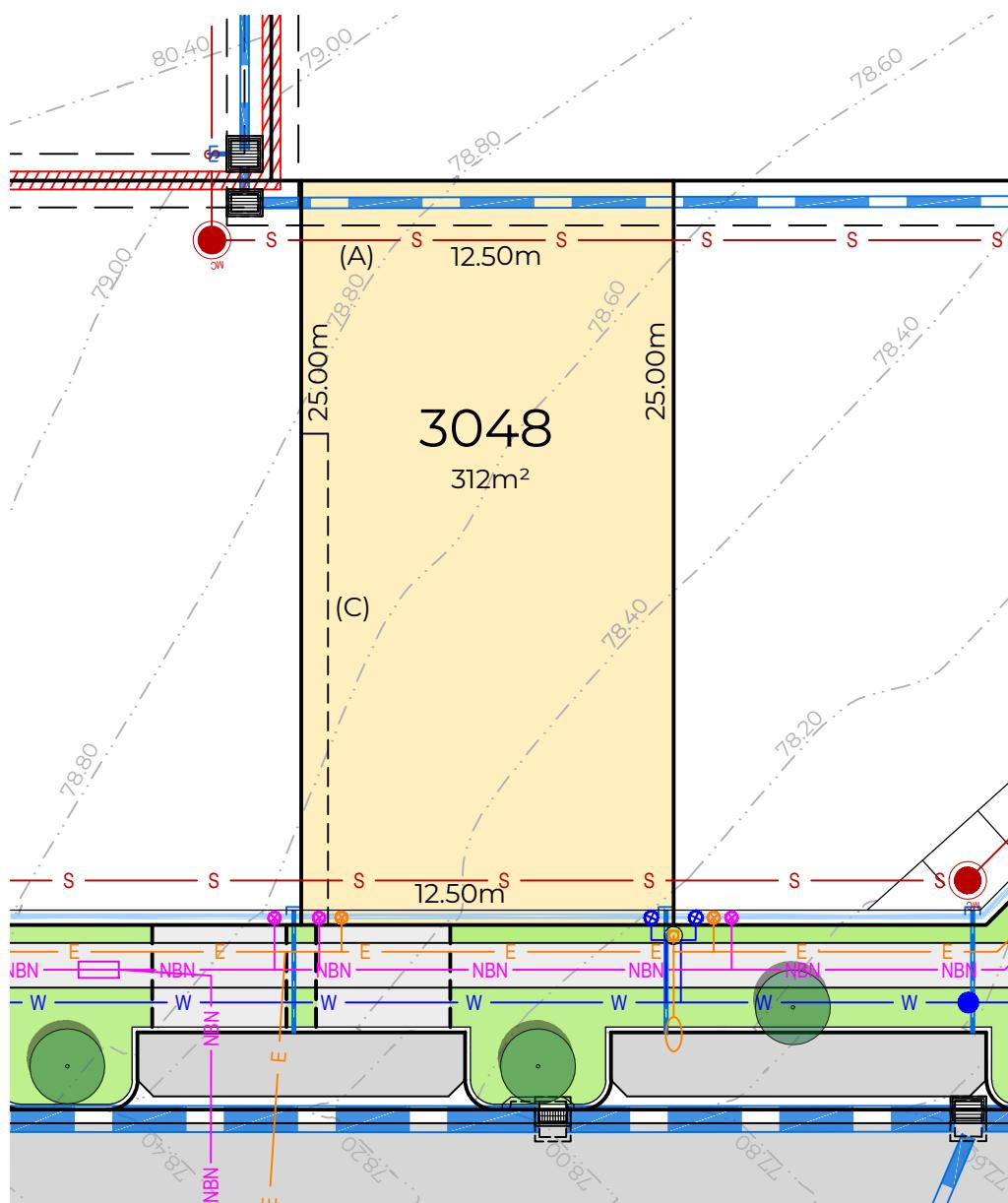
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3048

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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BIRLING

Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

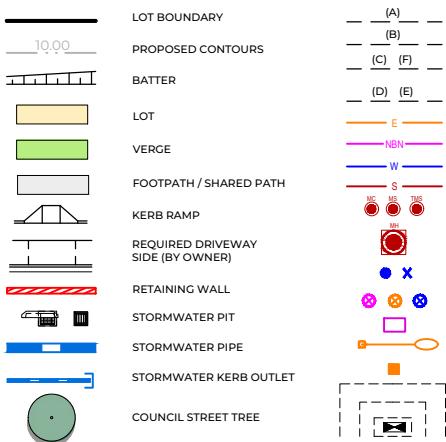
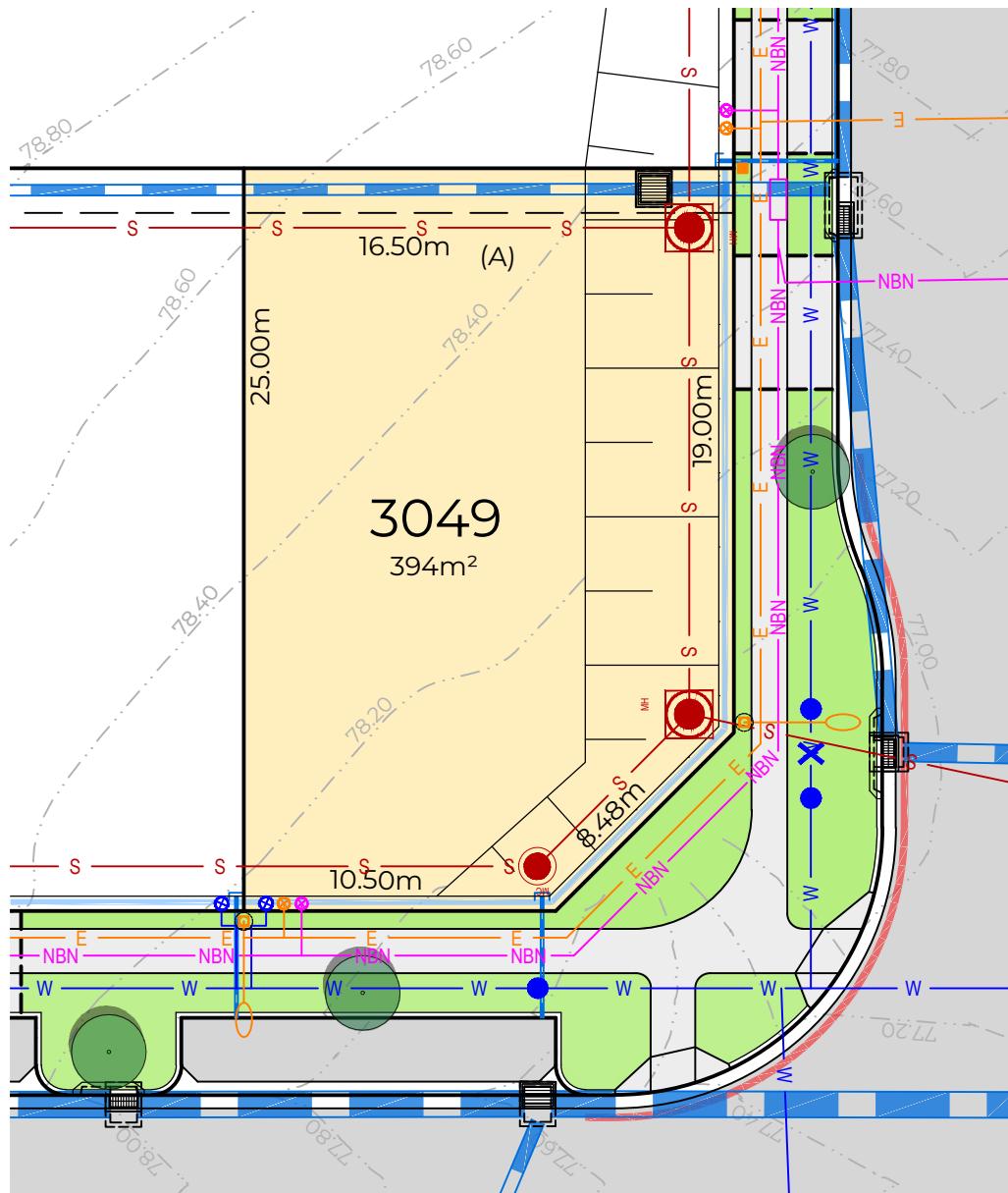
# Lot 3049

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



LOT BOUNDARY  
 PROPOSED CONTOURS  
 BATTER  
 LOT  
 VERGE  
 FOOTPATH / SHARED PATH  
 KERB RAMP  
 REQUIRED DRIVEWAY SIDE (BY OWNER)  
 RETAINING WALL  
 STORMWATER PIT  
 STORMWATER PIPE  
 STORMWATER KERB OUTLET  
 COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (G) POTABLE WATER  
 (H) SEWER  
 (I) SEWER MAINTENANCE SHAFT / CHAMBER  
 (J) SEWER MAINTENANCE HOLE  
 (K) POTABLE WATER HYDRANT / STOP VALVE  
 (L) UTILITY CONNECTIONS  
 (M) COMMUNICATIONS PIT  
 (N) ELECTRICAL LIGHT POLE  
 (O) ELECTRICAL PILLAR  
 (P) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

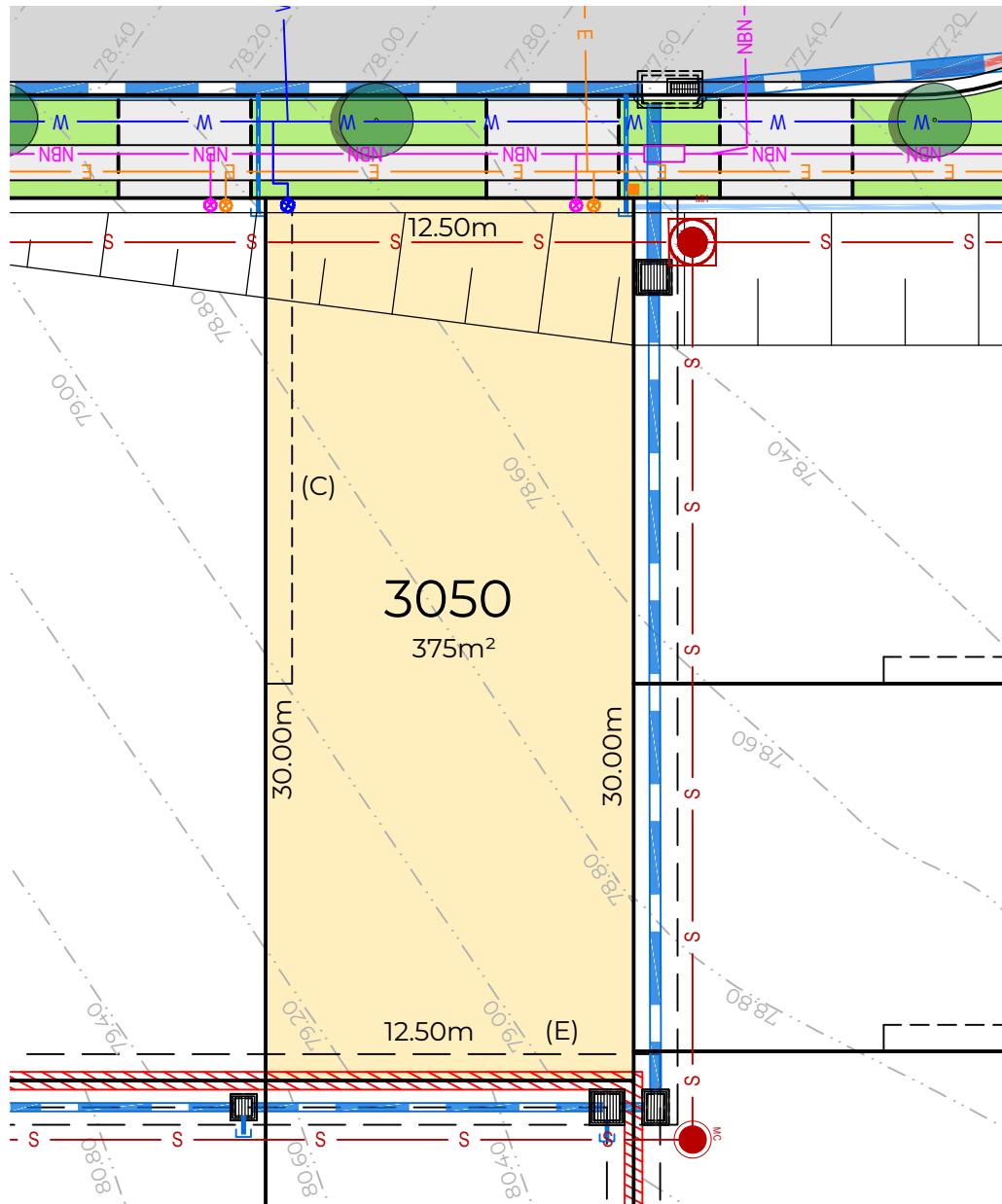
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3050

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

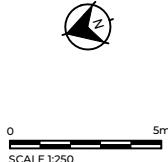
02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

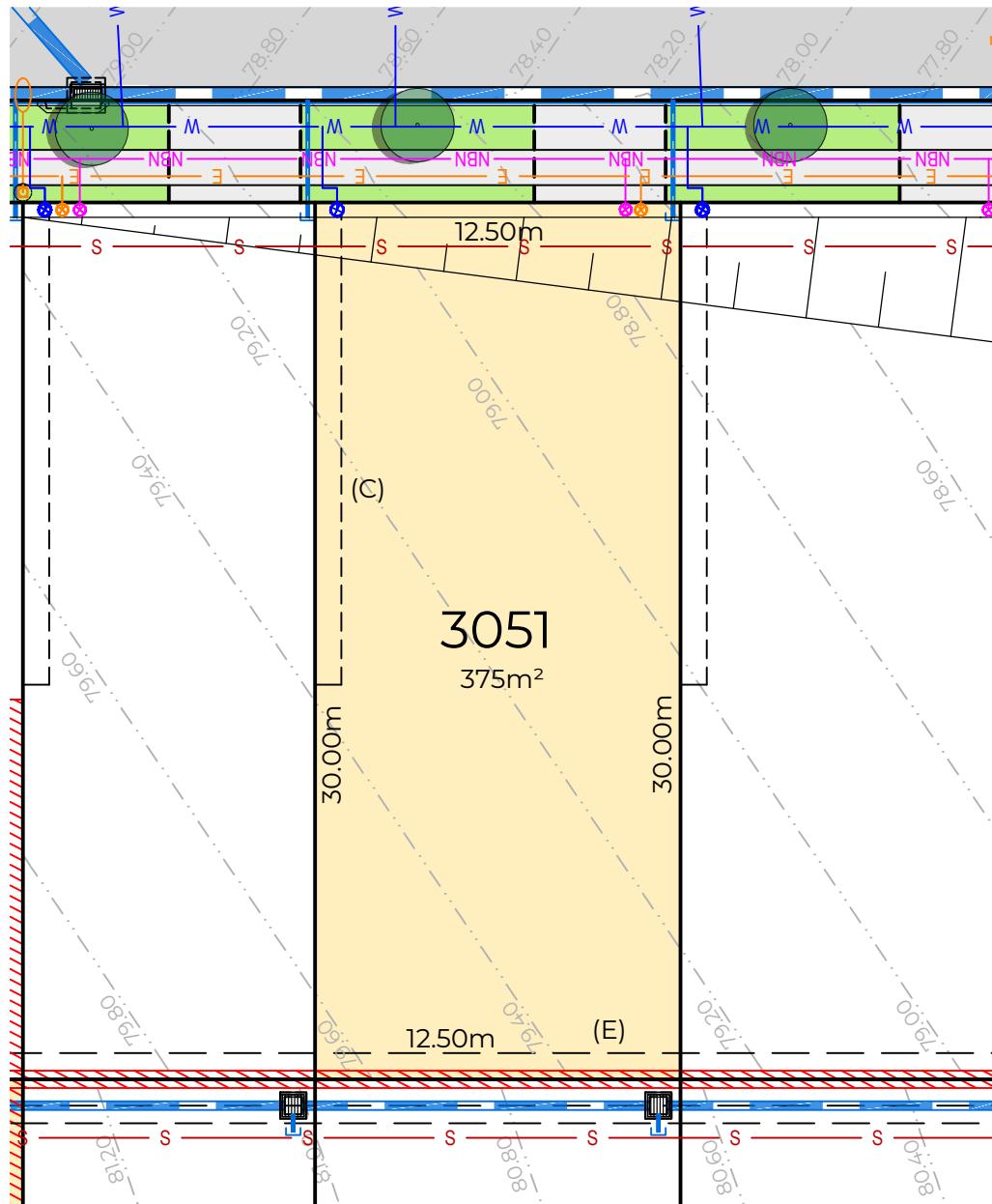
975 The Northern Road,  
Bringelly NSW 2556

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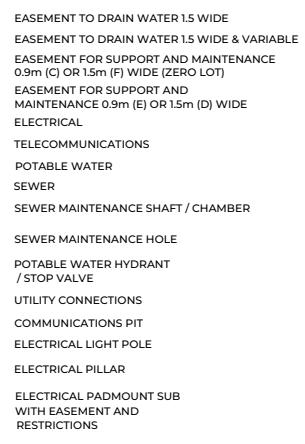
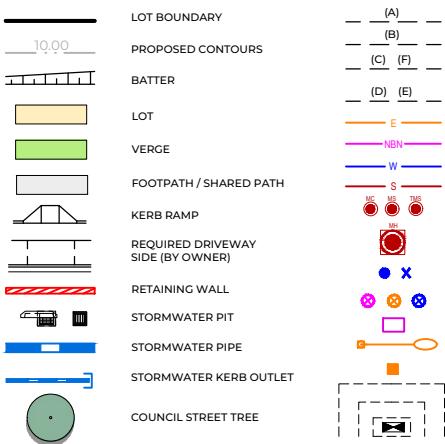
# Lot 3051

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



0 5m  
SCALE 1:250

02 9050 0555

## SALES CENTRE

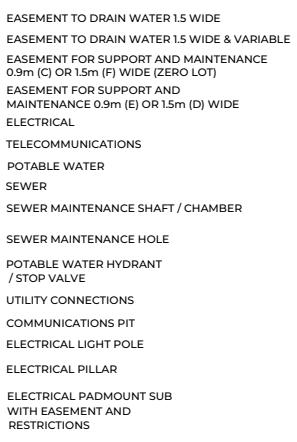
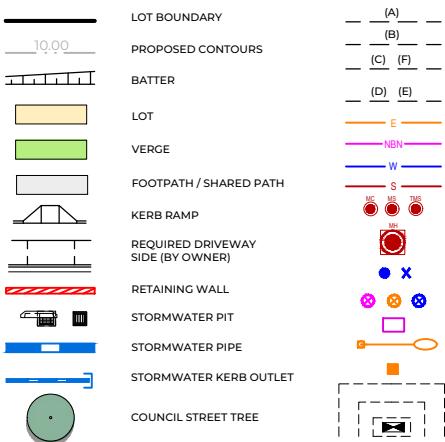
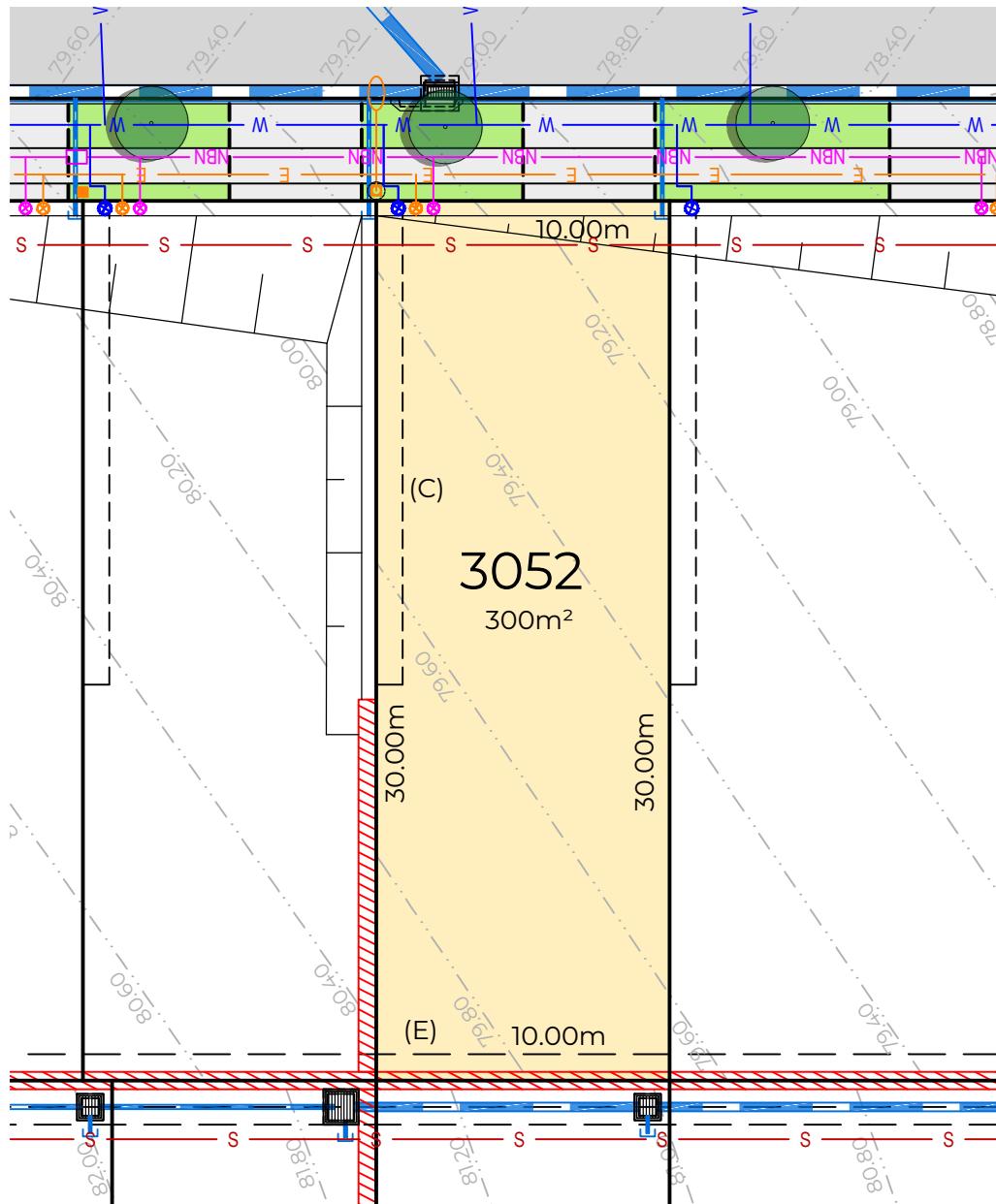
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3052

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

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BIRLING

Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

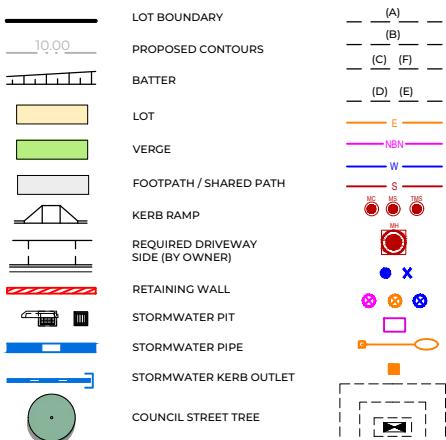
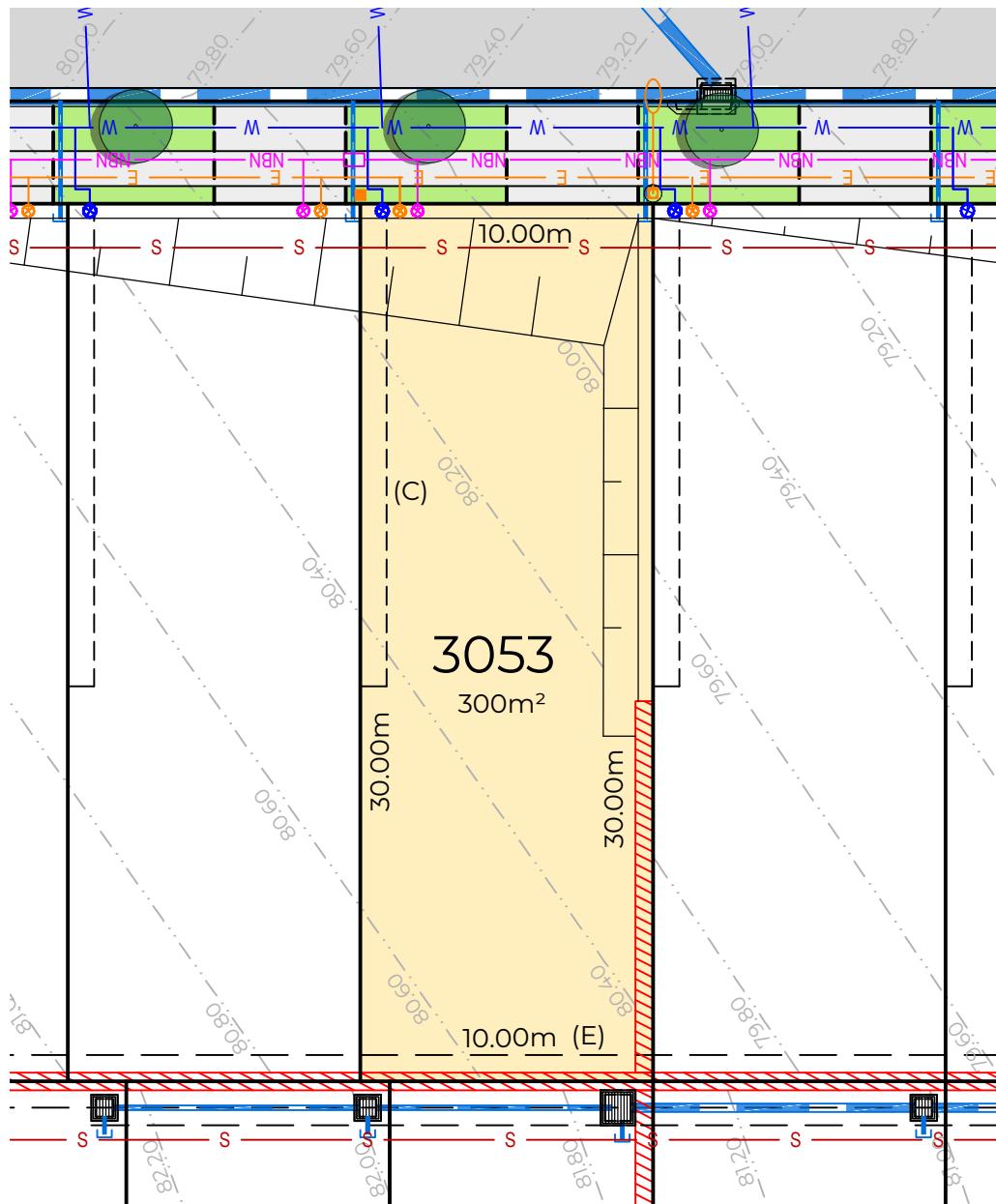
# Lot 3053

## STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



LOT BOUNDARY  
PROPOSED CONTOURS  
BATTER  
LOT  
VERGE  
FOOTPATH / SHARED PATH  
KERB RAMP  
REQUIRED DRIVEWAY SIDE (BY OWNER)  
RETAINING WALL  
STORMWATER PIT  
STORMWATER PIPE  
STORMWATER KERB OUTLET  
COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
(B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
(C) (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
(D) (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT / STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

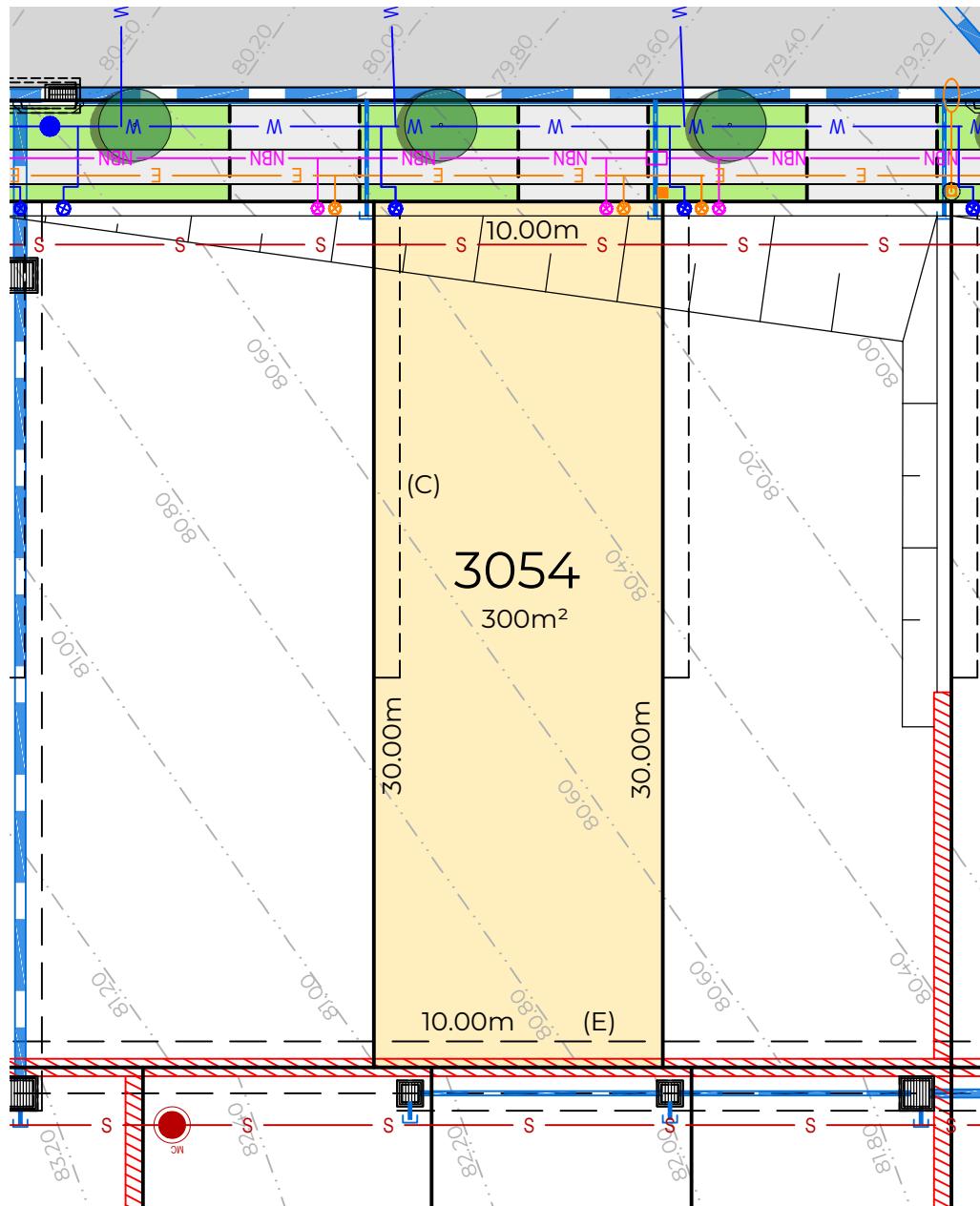
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3054

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

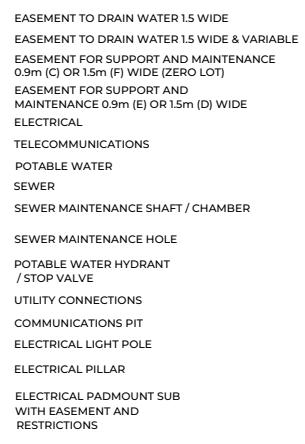
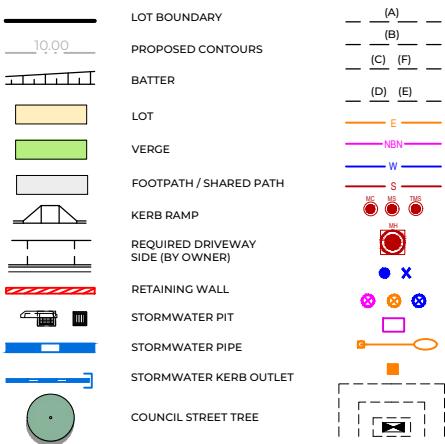
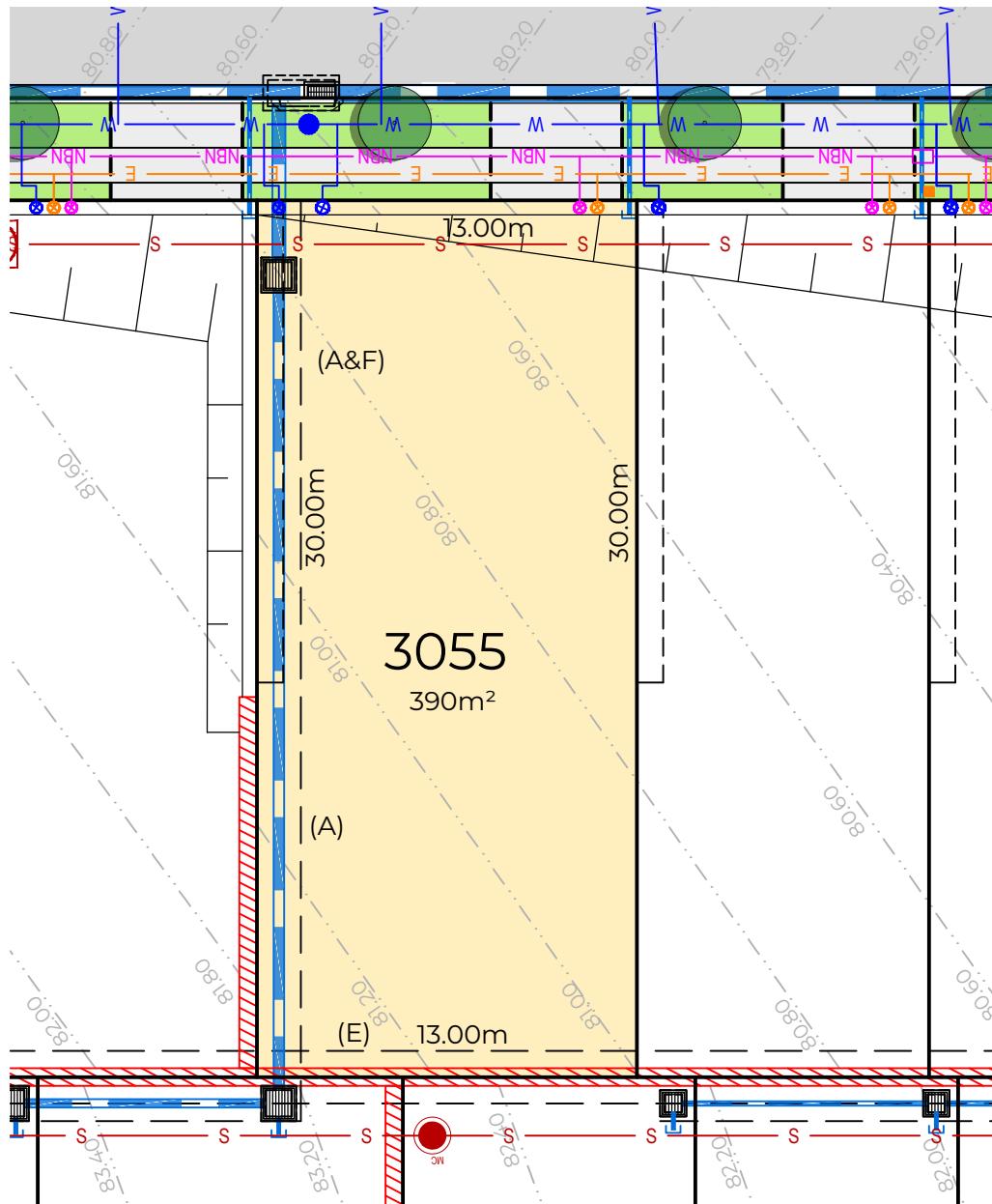
SALES CENTRE

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Bringelly NSW 2556

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# Lot 3055

## STAGE 03 | THE HILLTOP



A scale bar at the top left of the map, showing a horizontal line with tick marks at 0 and 5m, and the text 'SCALE 1:250' below it.

02 9050 0555

## SALES CENTRE

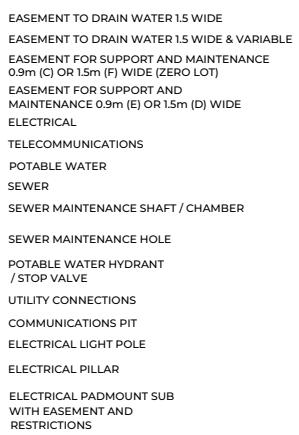
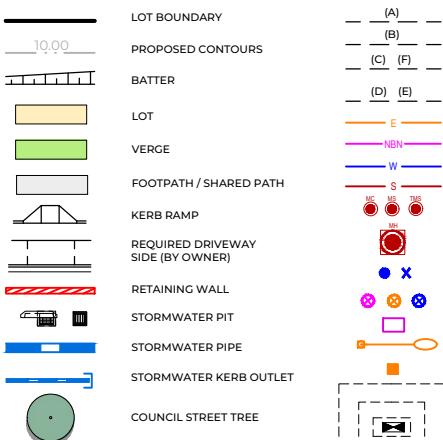
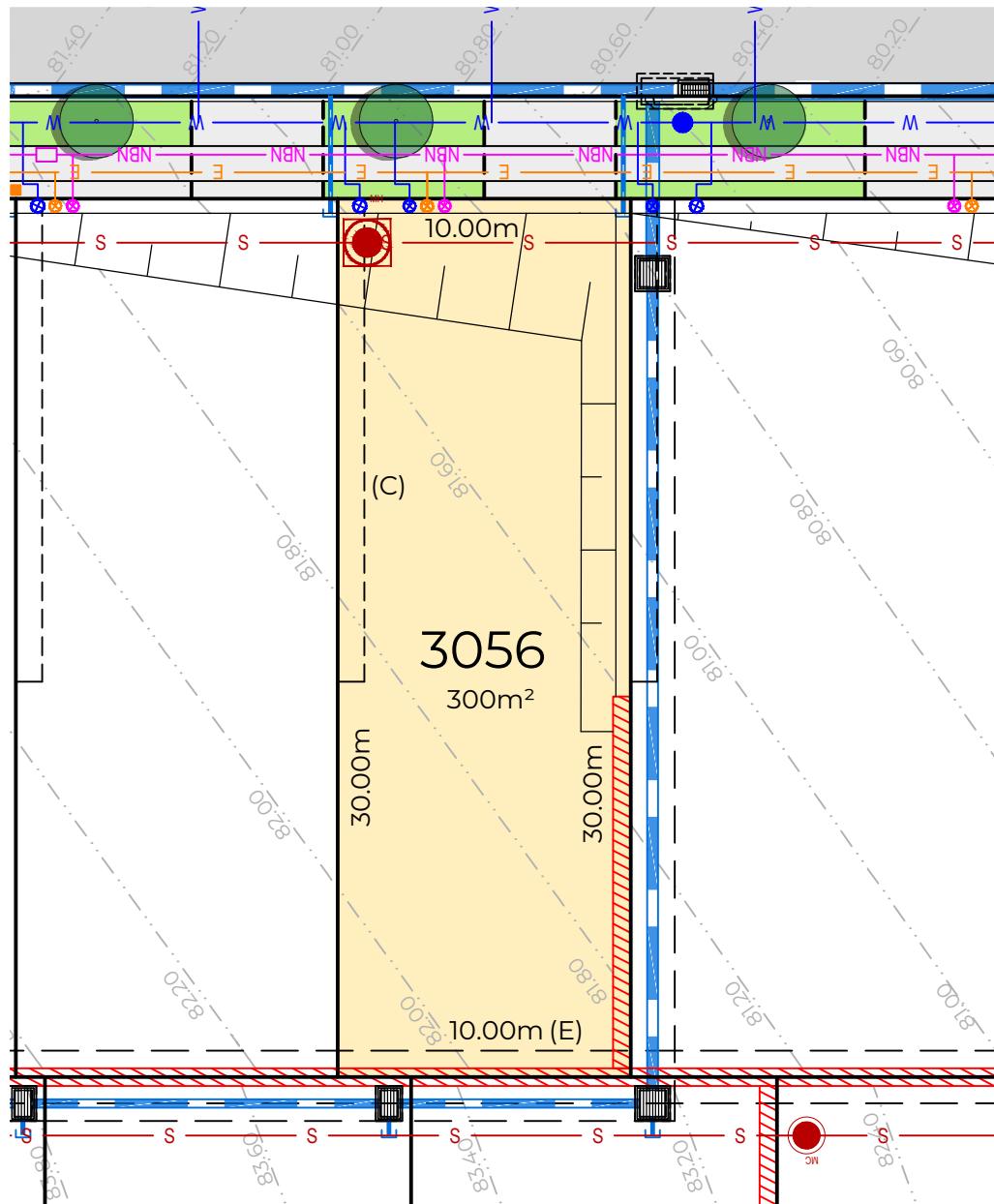
975 The Northern Road,  
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**Cameron Brae**  
GROUP

# Lot 3056

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

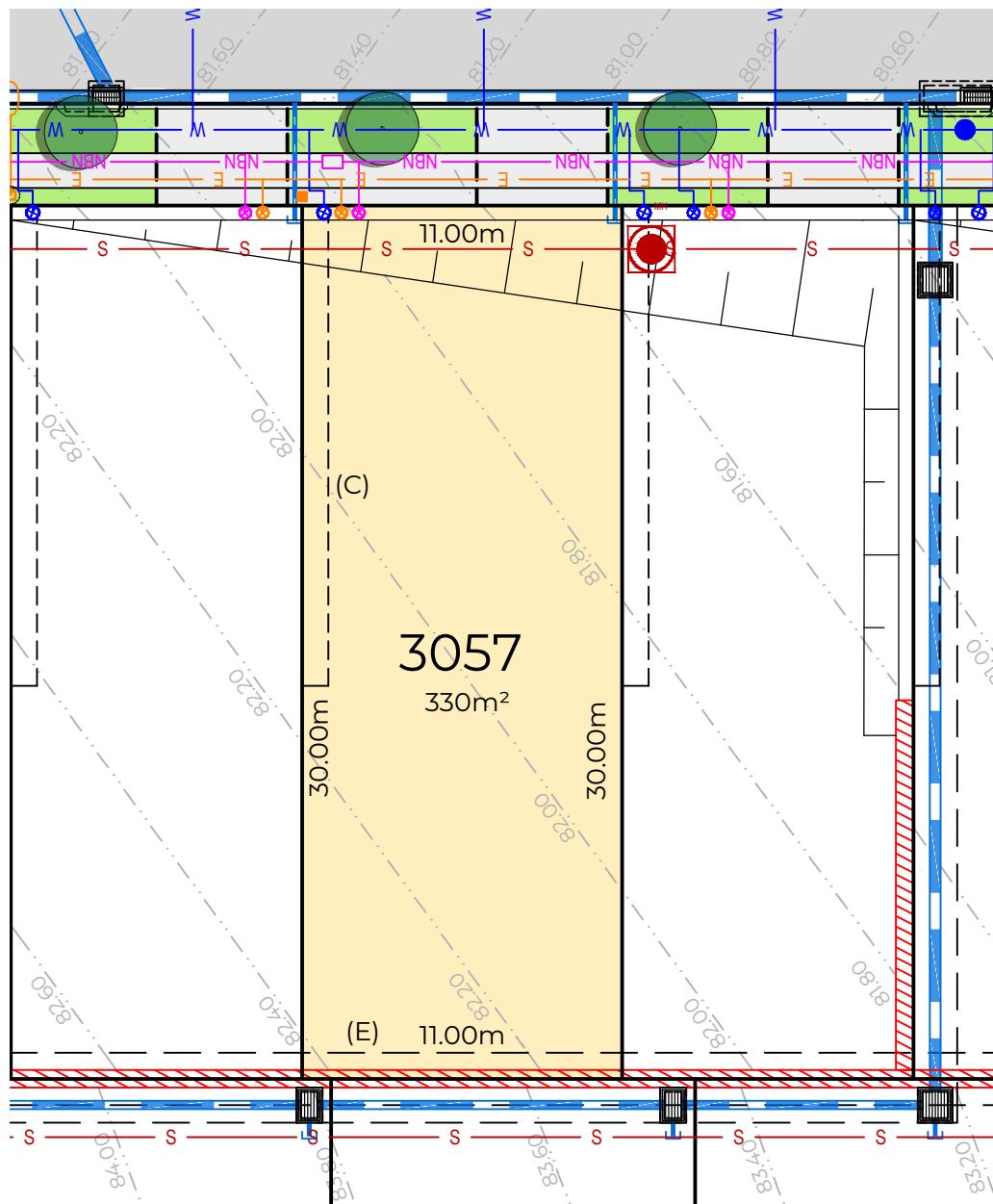
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3057

STAGE 03 | THE HILLTOP



LOT BOUNDARY	0.00
PROPOSED CONTOURS	
BATTER	
LOT	30.00m
VERGE	
FOOTPATH / SHARED PATH	
KERB RAMP	
REQUIRED DRIVEWAY SIDE (BY OWNER)	
RETAINING WALL	
STORMWATER PIT	
STORMWATER PIPE	
STORMWATER KERB OUTLET	
COUNCIL STREET TREE	

(A)	EASEMENT TO DRAIN WATER 1.5 WIDE
(B)	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
(C) (F)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
(D) (E)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
E	ELECTRICAL
	TELECOMMUNICATIONS
	POTABLE WATER
	SEWER
	SEWER MAINTENANCE SHAFT / CHAMBER
	SEWER MAINTENANCE HOLE
	POTABLE WATER HYDRANT / STOP VALVE
	UTILITY CONNECTIONS
	COMMUNICATIONS PIT
	ELECTRICAL LIGHT POLE
	ELECTRICAL PILLAR
	ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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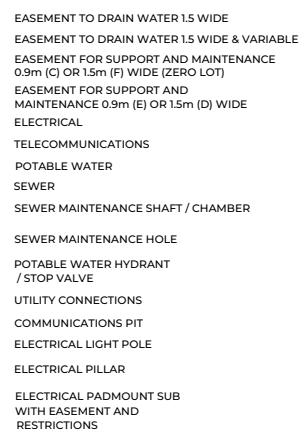
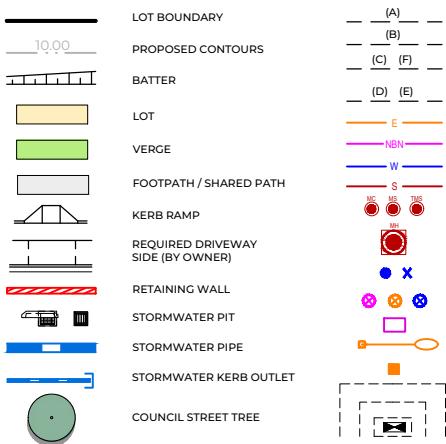
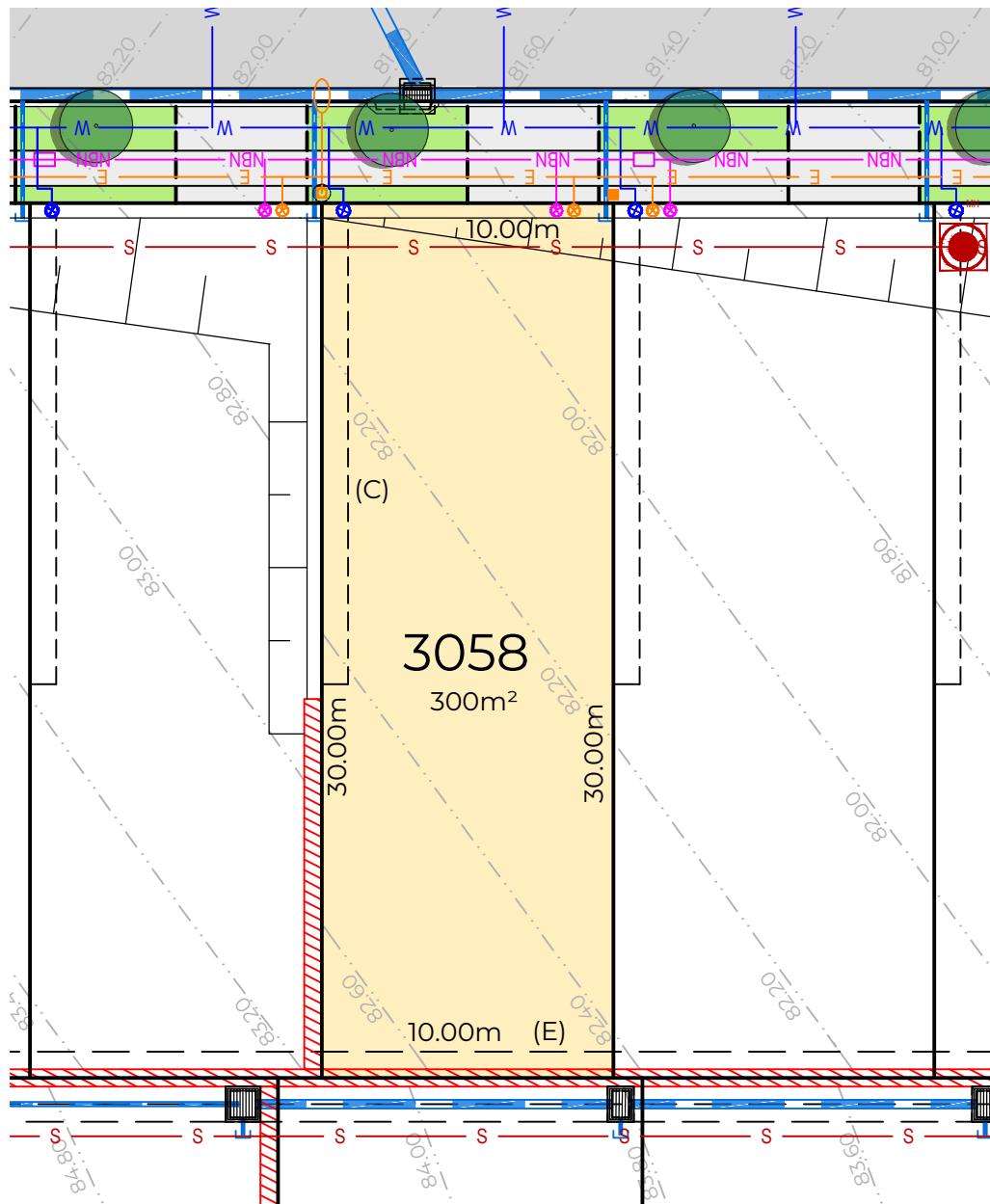
BIRLING

Lot Plan



# Lot 3058

## STAGE 03 | THE HILLTOP



A scale bar at the top left of the map, showing a horizontal line with tick marks at 0 and 5m, and the text 'SCALE 1:250' below it.

02 9050 0555

## SALES CENTRE

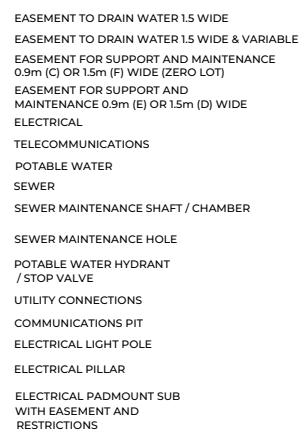
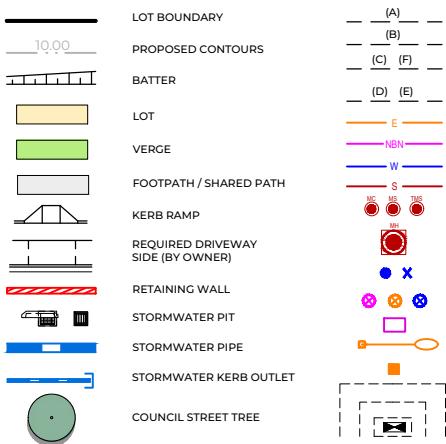
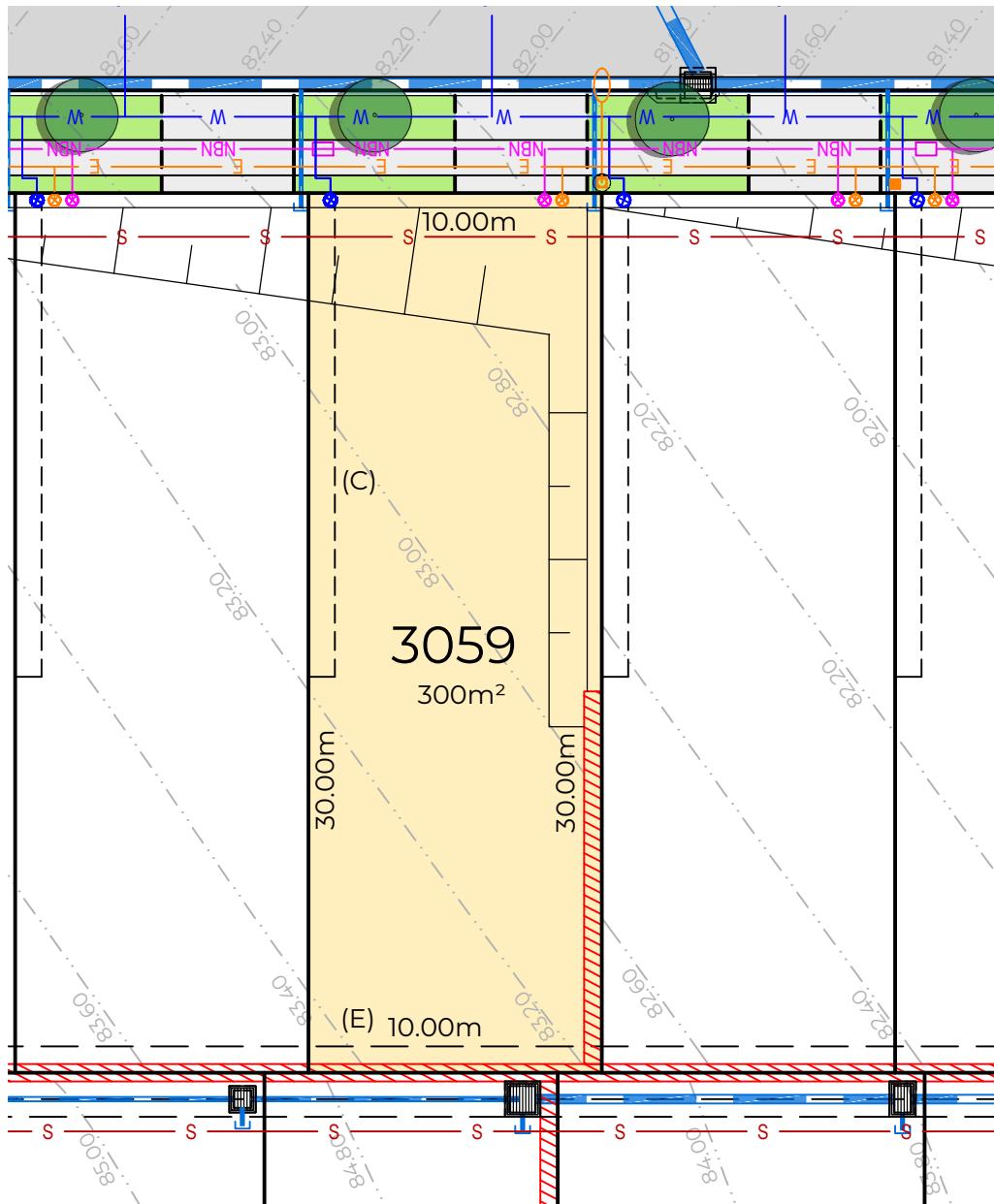
975 The Northern Road,  
Bringelly NSW 2556

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**Cameron Brae**  
GROUP

# Lot 3059

## STAGE 03 | THE HILLTOP



02 9050 0555

## SALES CENTRE

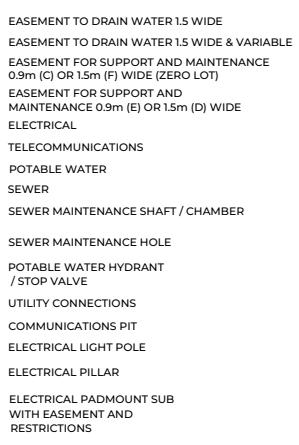
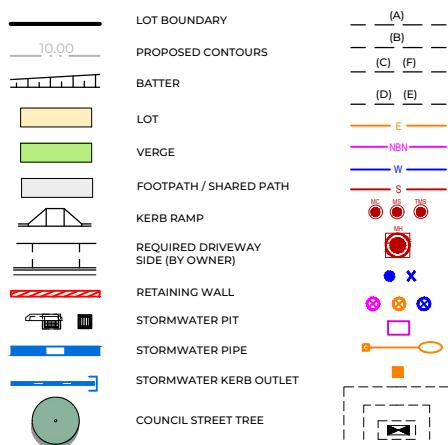
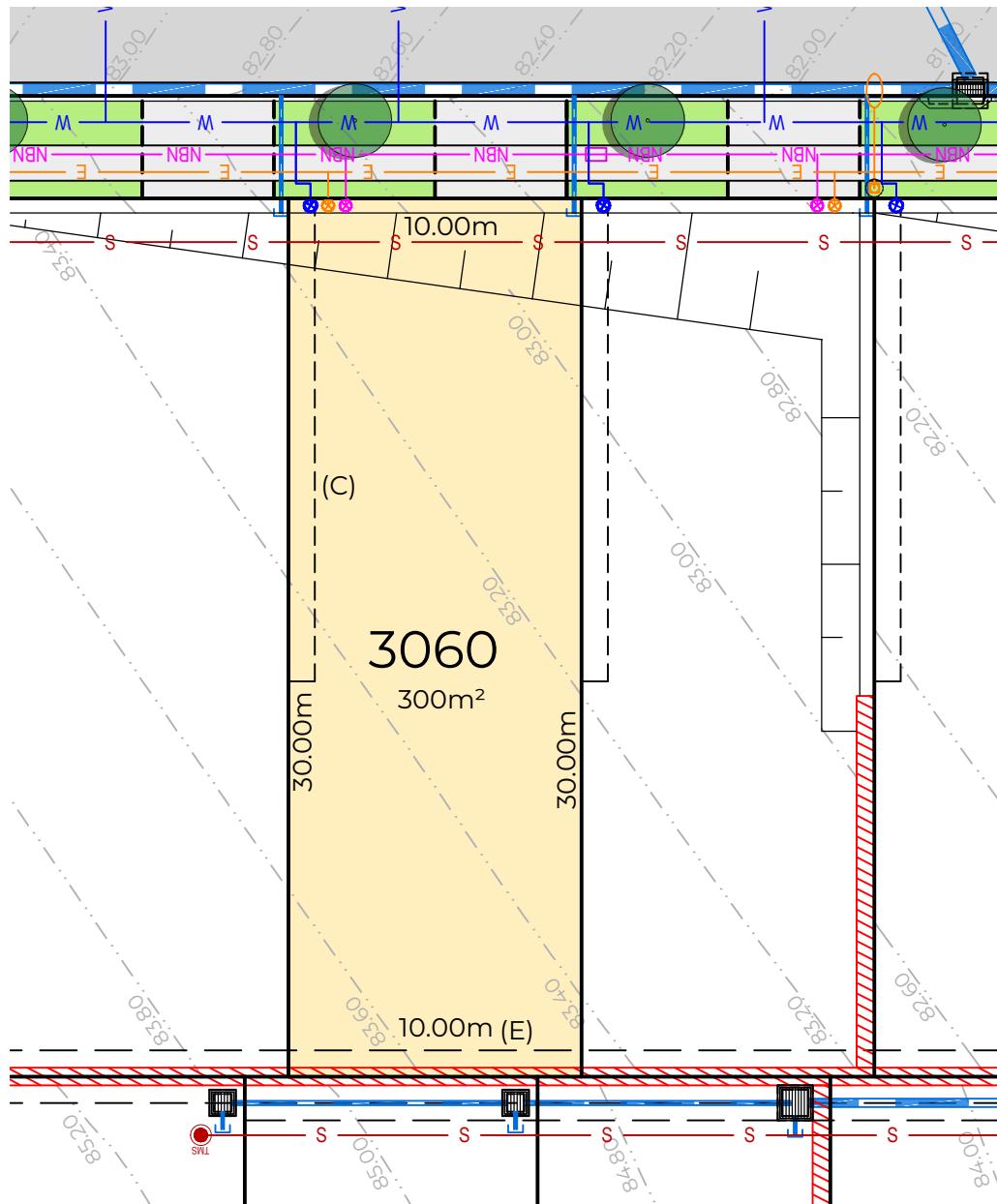
975 The Northern Road,  
Bringelly NSW 2556

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 Cameron Brae  
GROUP

# Lot 3060

STAGE 03 | THE HILLTOP



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# BIRLING

## Lot Plan

02 9050 0555

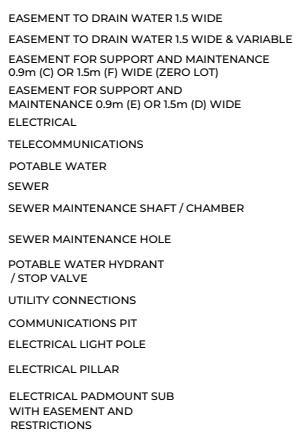
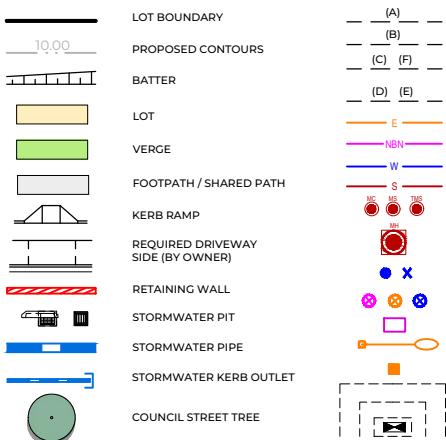
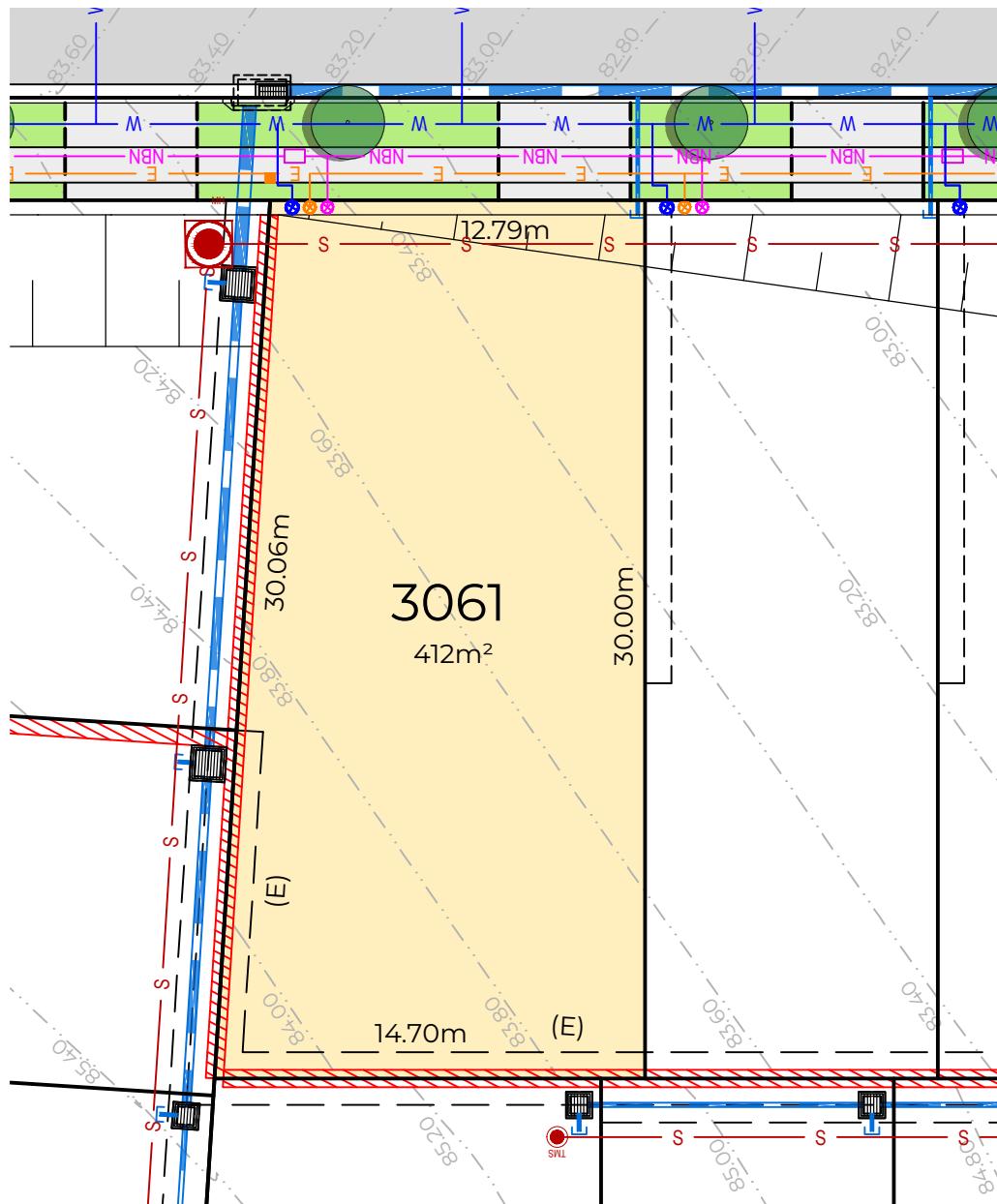
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3061

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

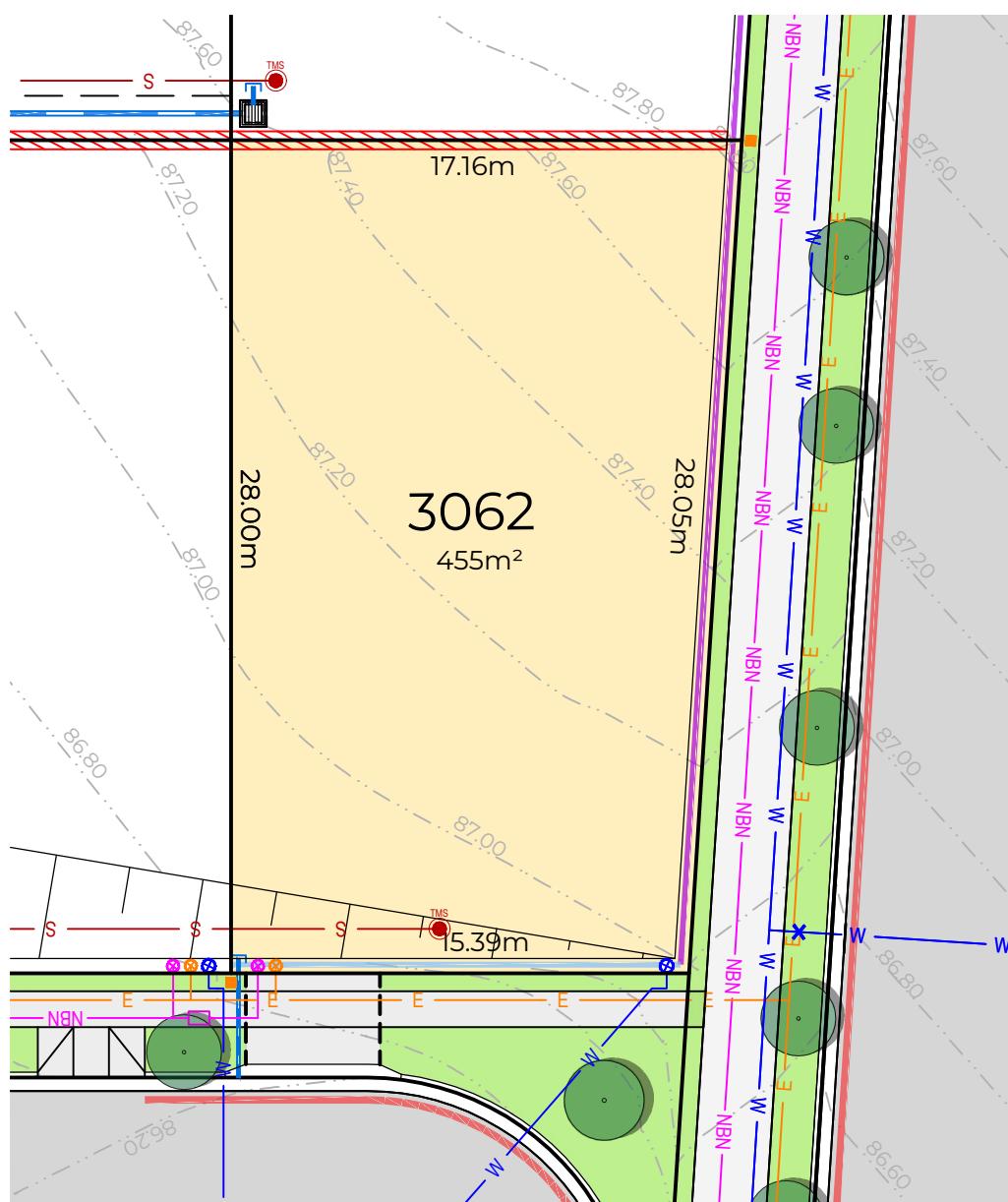
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

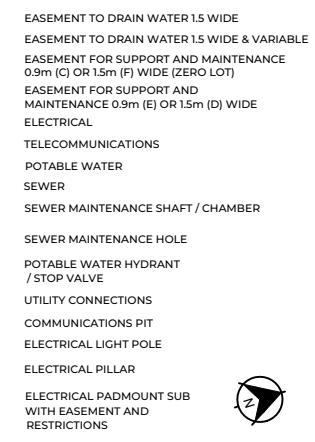
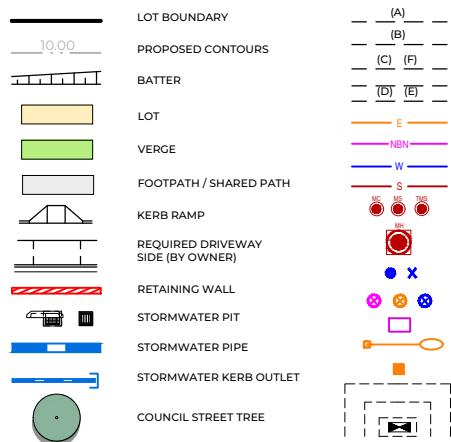
# Lot 3062

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** 1.8m high acoustic fence by developer as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by

02 9050 0555

## SALES CENTRE

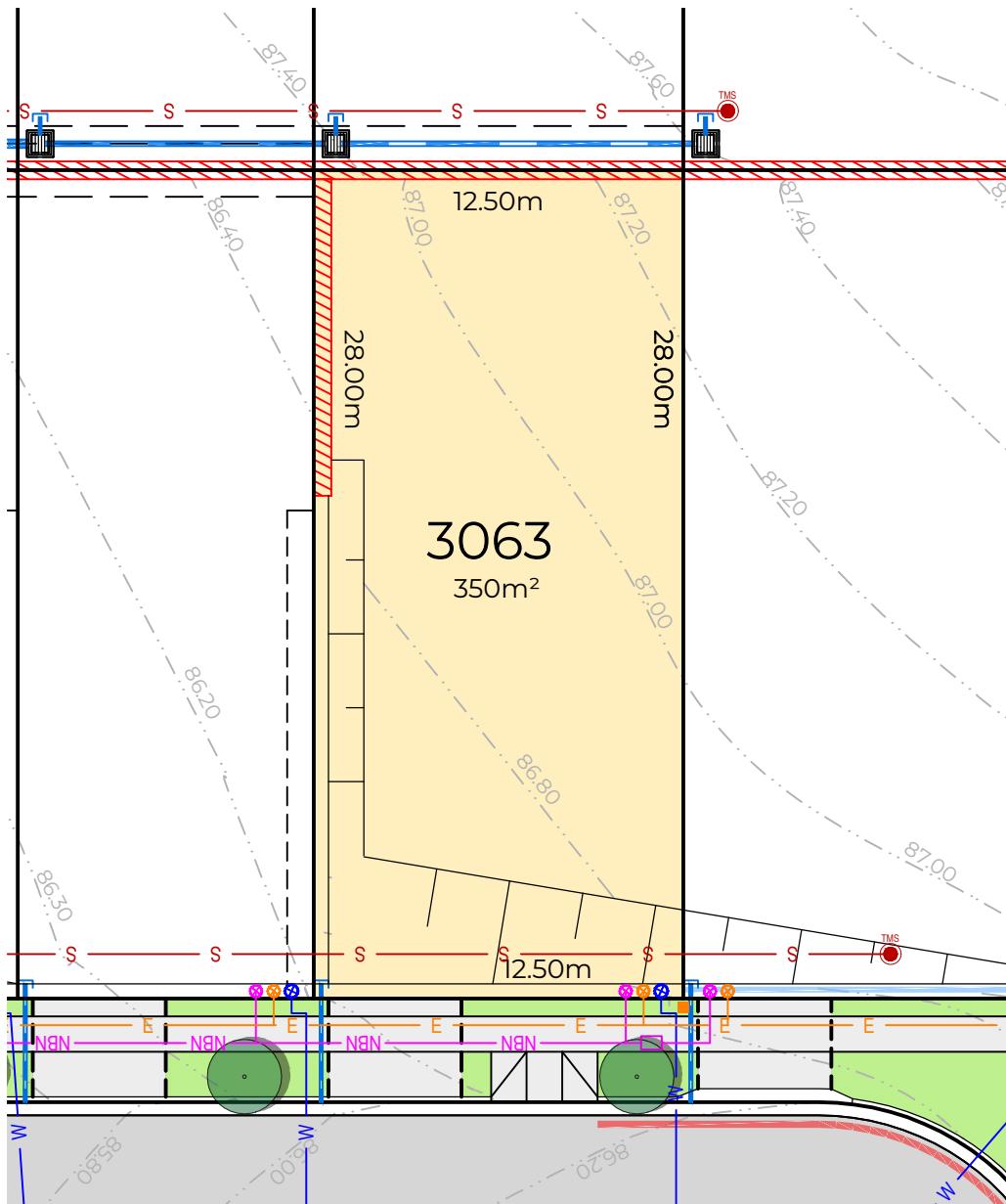
975 The Northern Road,  
Bringelly NSW 2556

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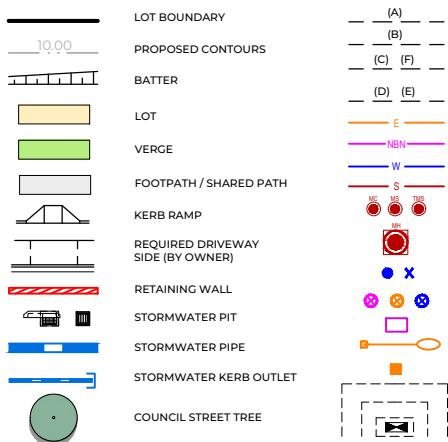
# Lot 3063

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE  
0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND  
MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS

**Note** On-street parking restrictions apply as denoted by 



02 9050 0555

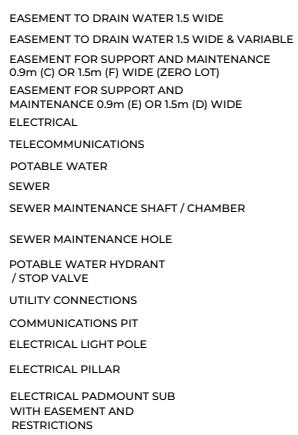
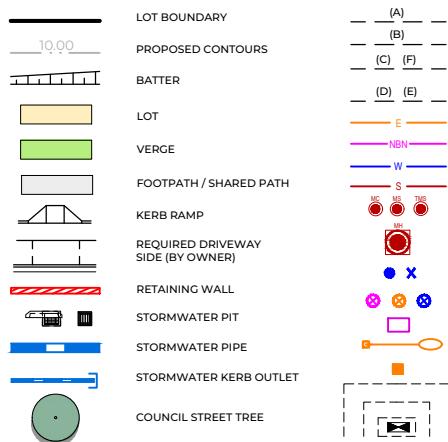
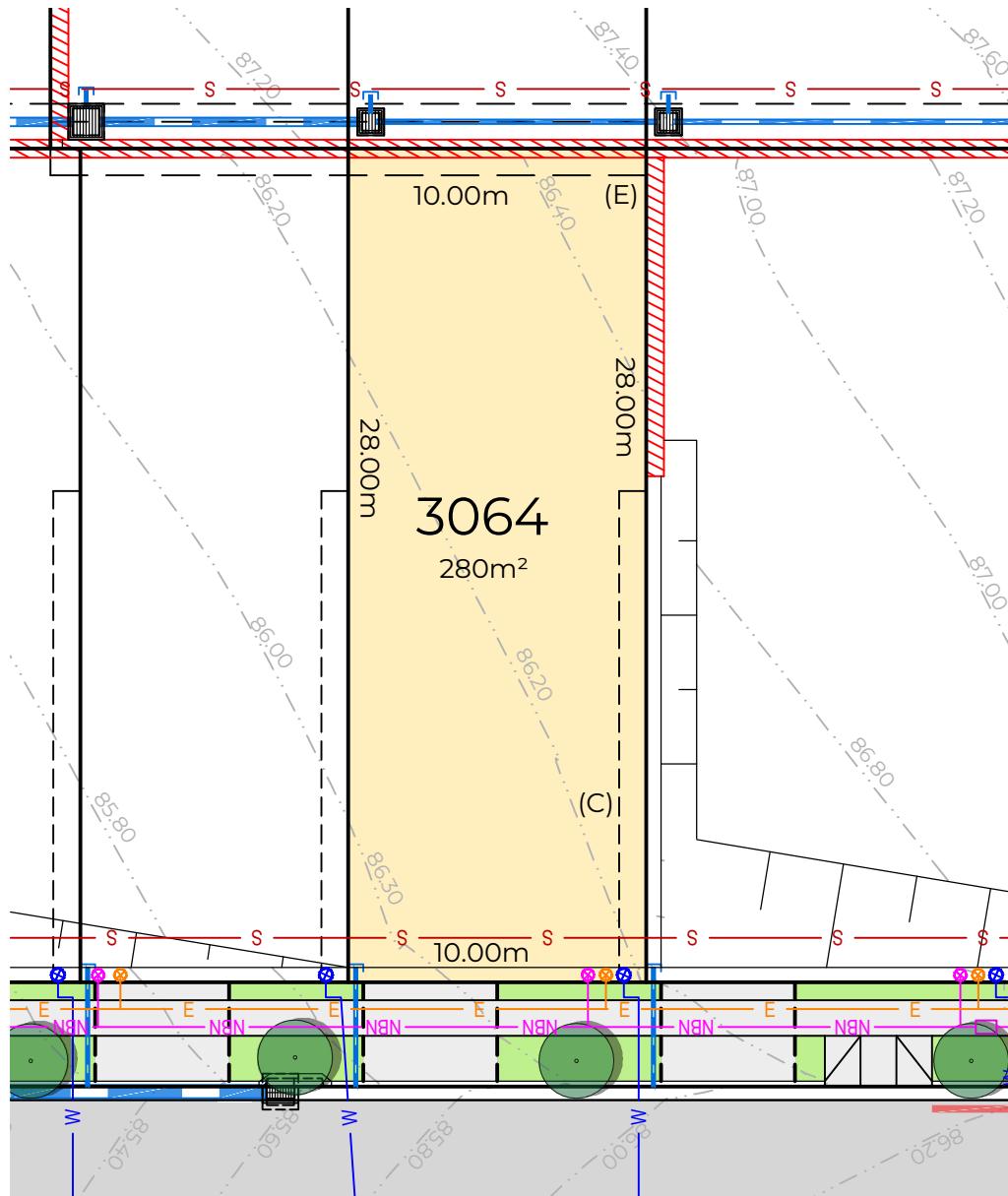
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3064

STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

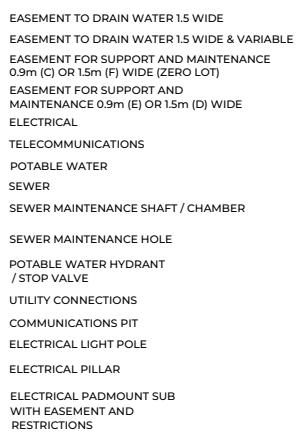
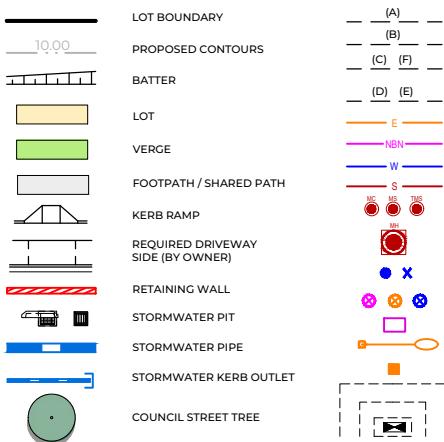
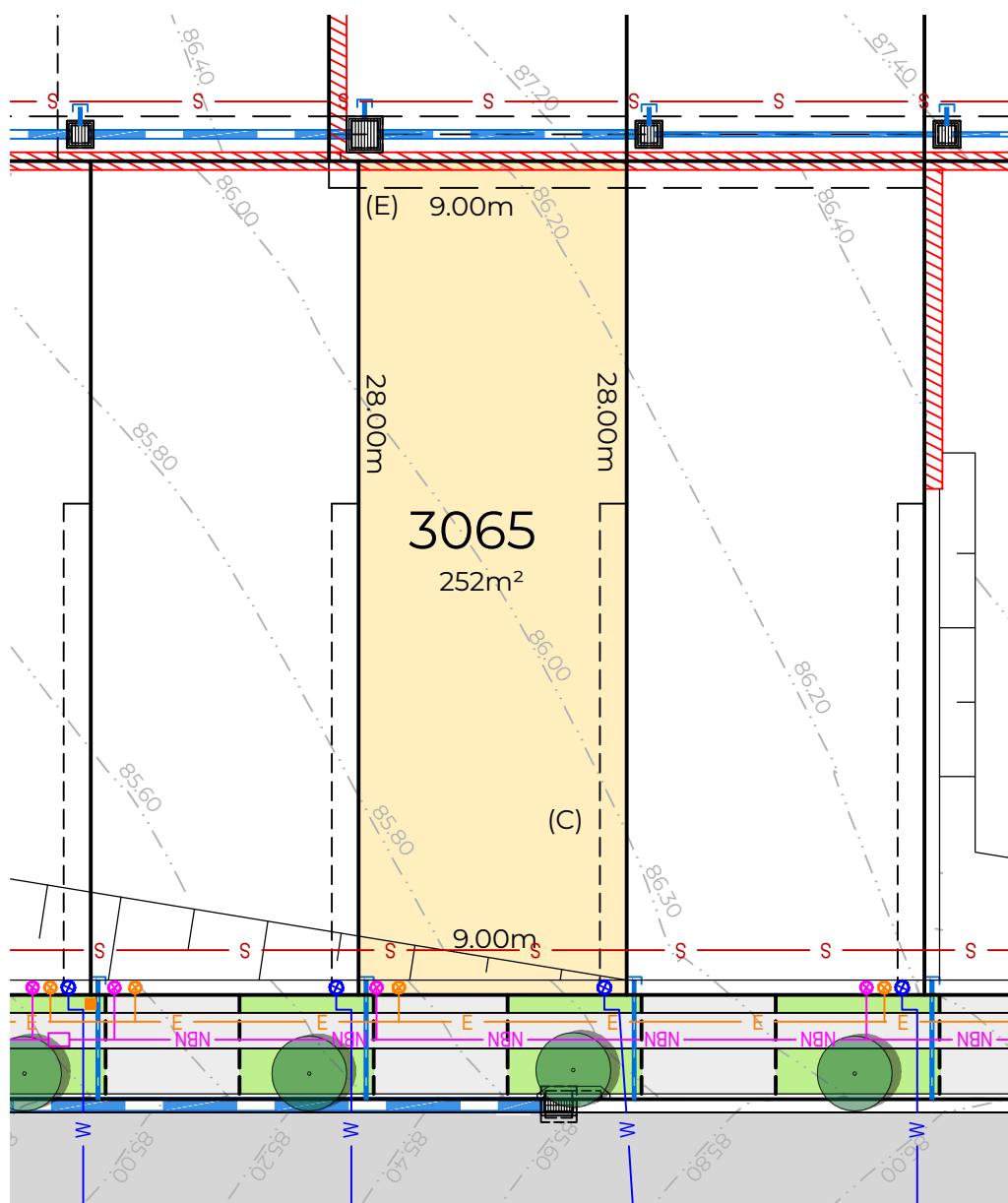
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3065

STAGE 03 | THE HILLTOP



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# BIRLING

## Lot Plan

02 9050 0555

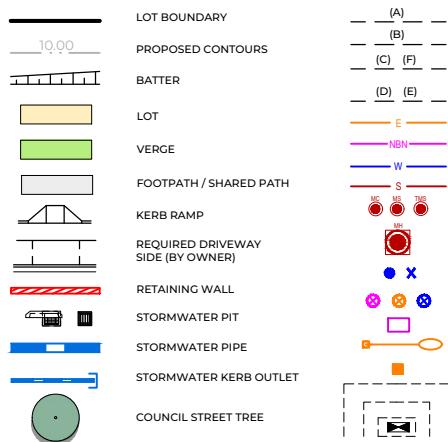
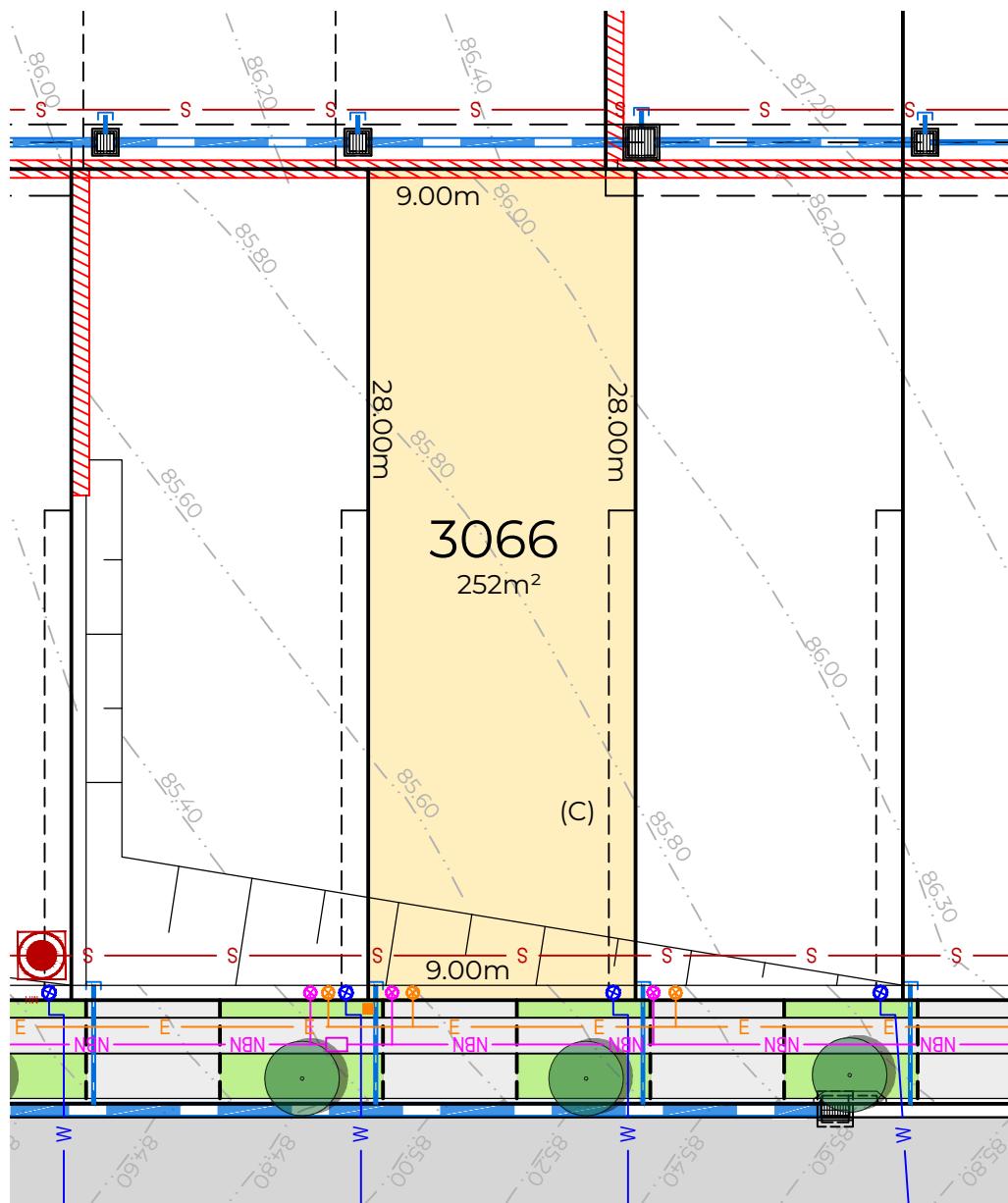
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3066

STAGE 03 | THE HILLTOP



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 ELECTRICAL  
 TELECOMMUNICATIONS  
 POTABLE WATER  
 SEWER  
 SEWER MAINTENANCE SHAFT / CHAMBER  
 SEWER MAINTENANCE HOLE  
 POTABLE WATER HYDRANT / STOP VALVE  
 UTILITY CONNECTIONS  
 COMMUNICATIONS PIT  
 ELECTRICAL LIGHT POLE  
 ELECTRICAL PILLAR  
 ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

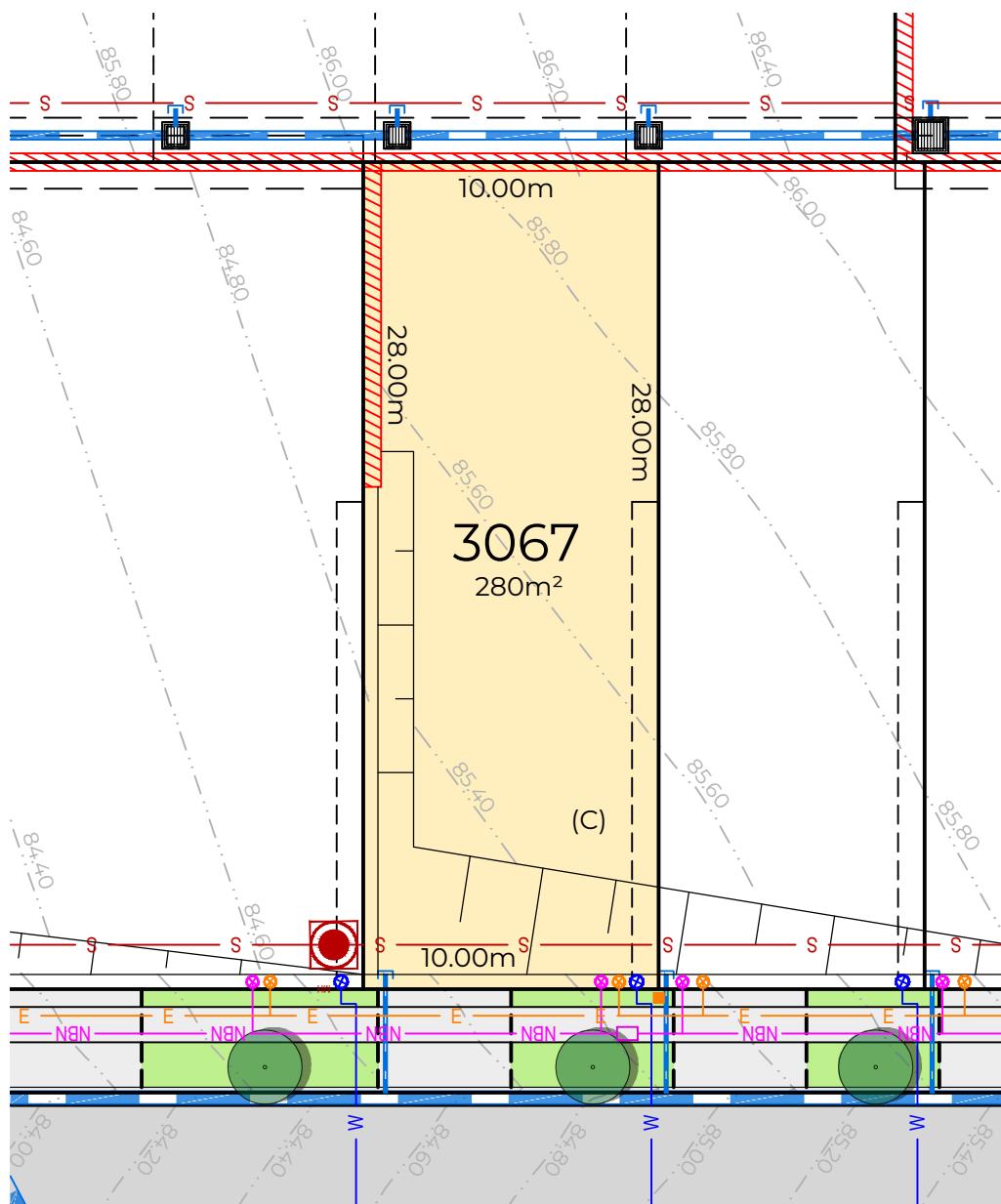
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3067

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

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birlingcommunity.com.au

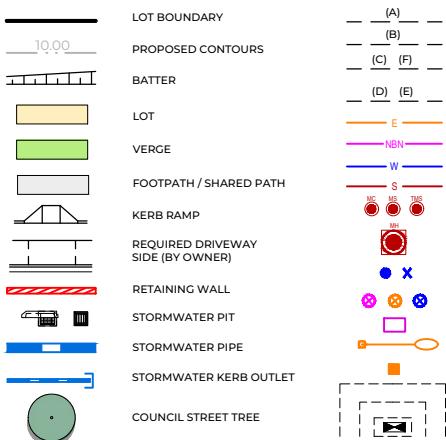
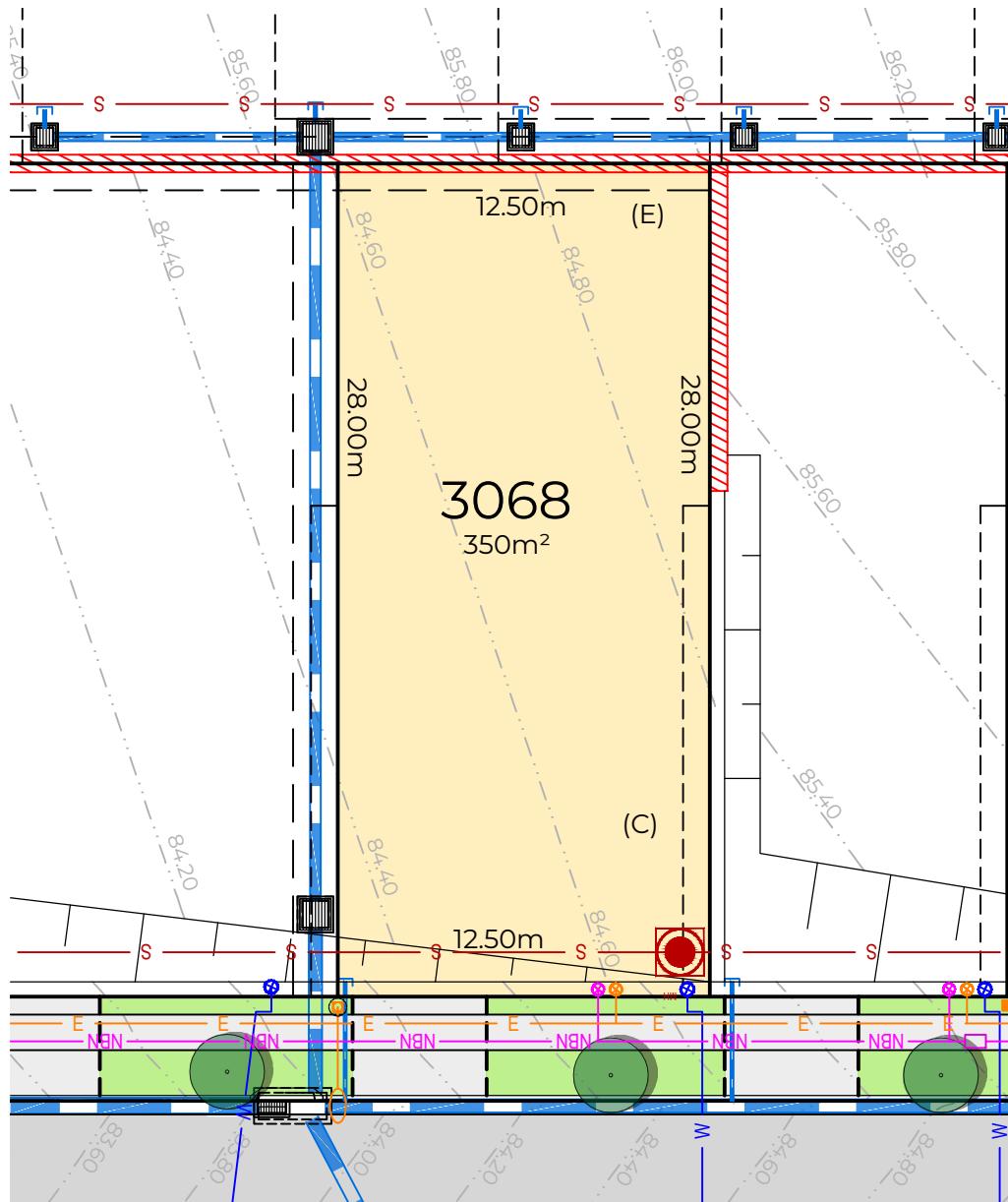
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

0 5m  
SCALE 1:250

# Lot 3068

STAGE 03 | THE HILLTOP



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 ELECTRICAL  
 TELECOMMUNICATIONS  
 POTABLE WATER  
 SEWER  
 SEWER MAINTENANCE SHAFT / CHAMBER  
 SEWER MAINTENANCE HOLE  
 POTABLE WATER HYDRANT / STOP VALVE  
 UTILITY CONNECTIONS  
 COMMUNICATIONS PIT  
 ELECTRICAL LIGHT POLE  
 ELECTRICAL PILLAR  
 ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

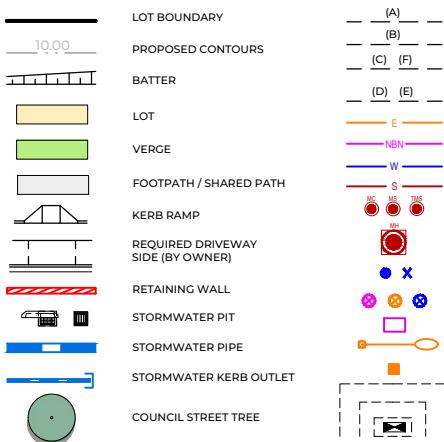
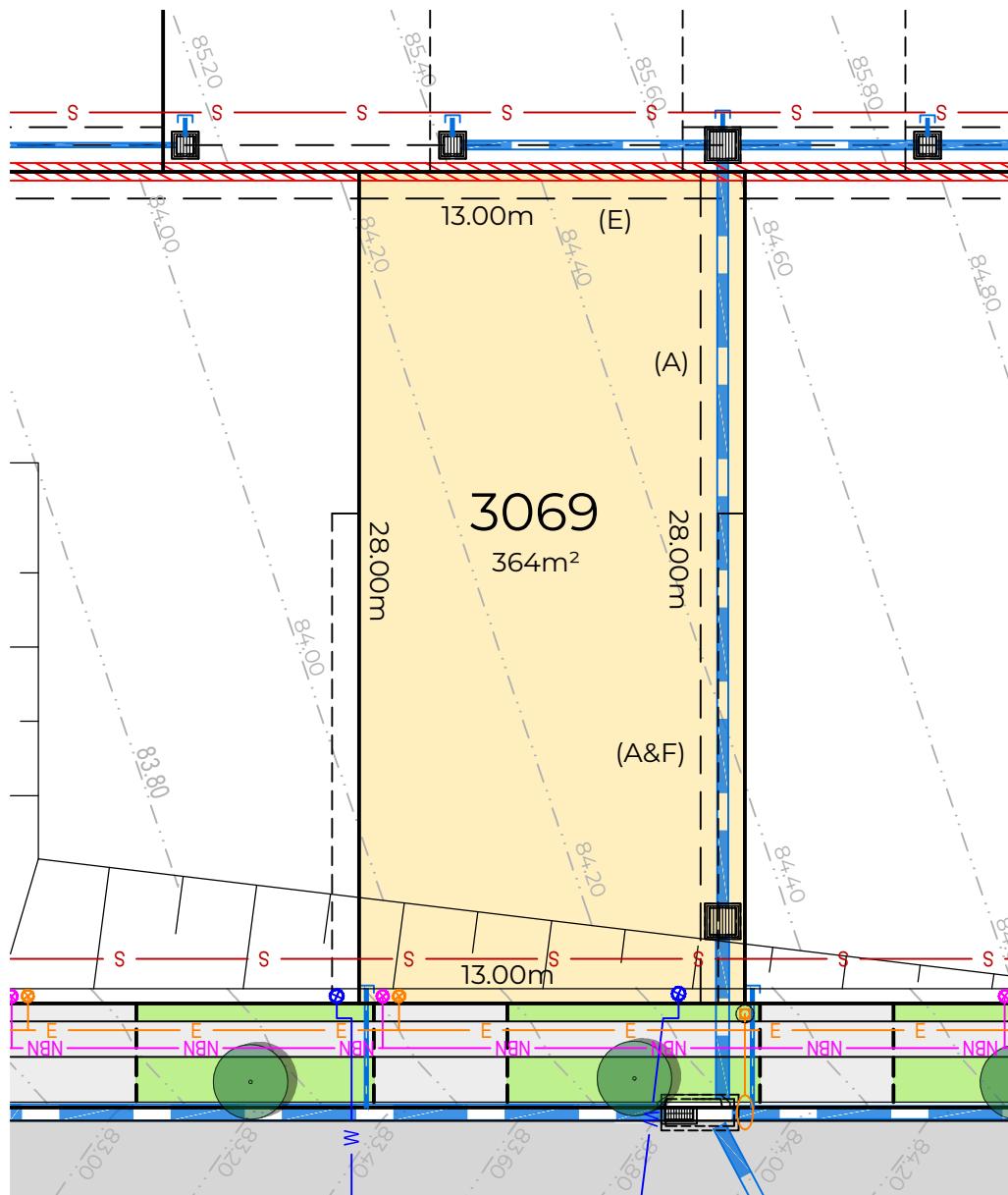
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3069

STAGE 03 | THE HILLTOP



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (W) POTABLE WATER  
 (S) SEWER  
 (H) SEWER MAINTENANCE SHAFT / CHAMBER  
 (H) SEWER MAINTENANCE HOLE  
 (H) POTABLE WATER HYDRANT / STOP VALVE  
 (U) UTILITY CONNECTIONS  
 (C) COMMUNICATIONS PIT  
 (E) ELECTRICAL LIGHT POLE  
 (E) ELECTRICAL PILLAR  
 (E) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

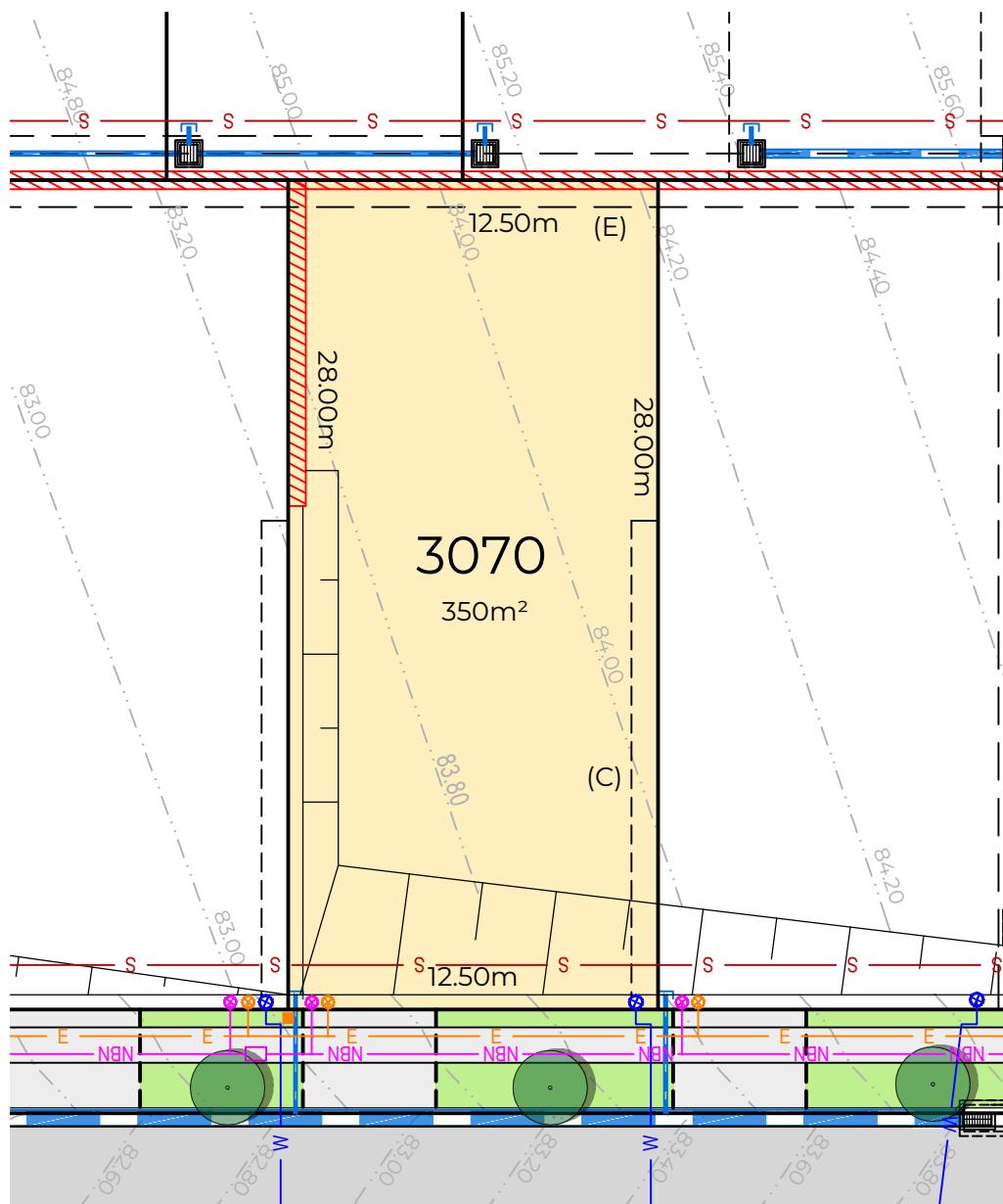
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3070

STAGE 03 | THE HILLTOP



# BIRLING

Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

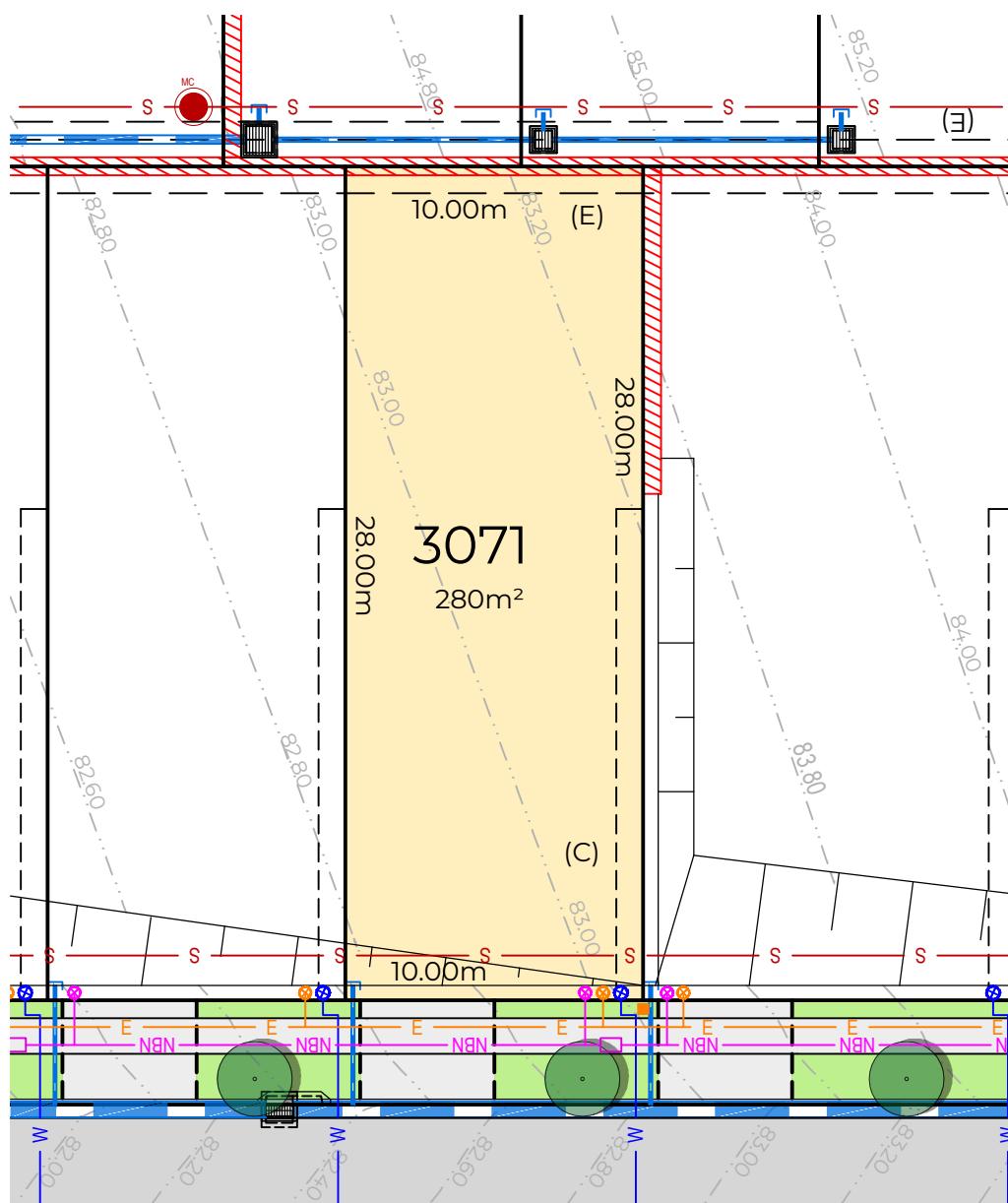
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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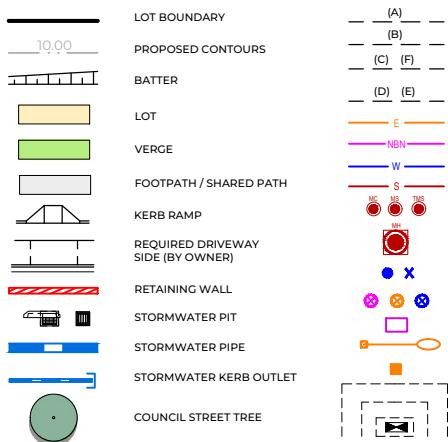
# Lot 3071

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE  
0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND  
MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS



A scale bar and text block. The scale bar is a horizontal line with a break in the middle, labeled '0' on the left and '5m' on the right. Below the scale bar is the text 'SCALE 1:250'.

02 9050 0555

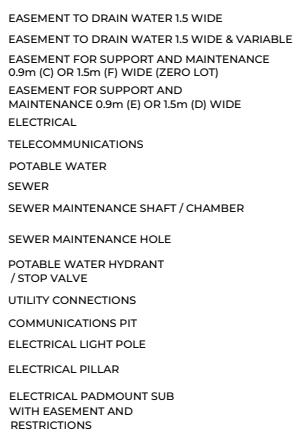
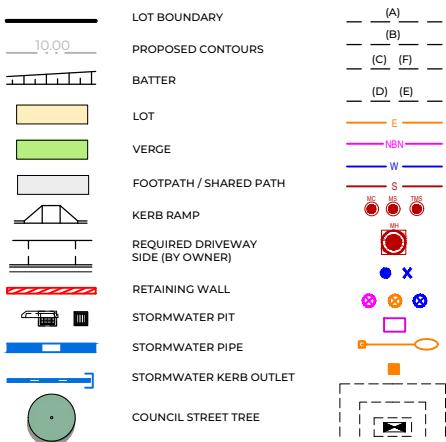
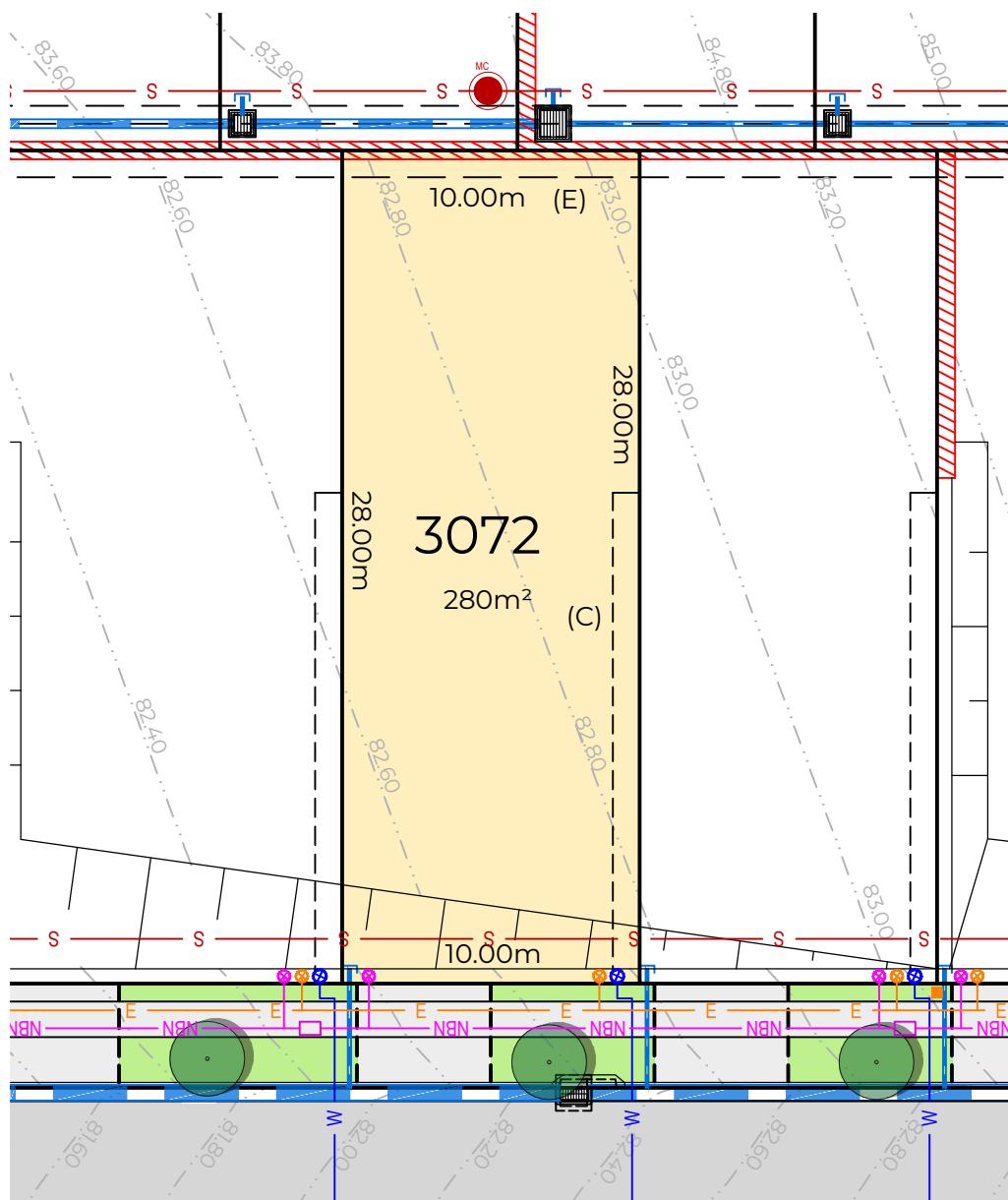
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3072

STAGE 03 | THE HILLTOP



0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

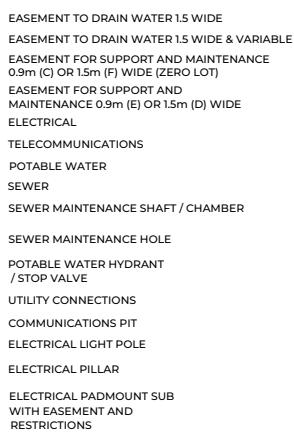
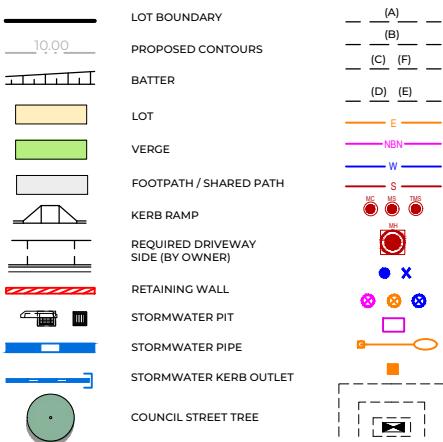
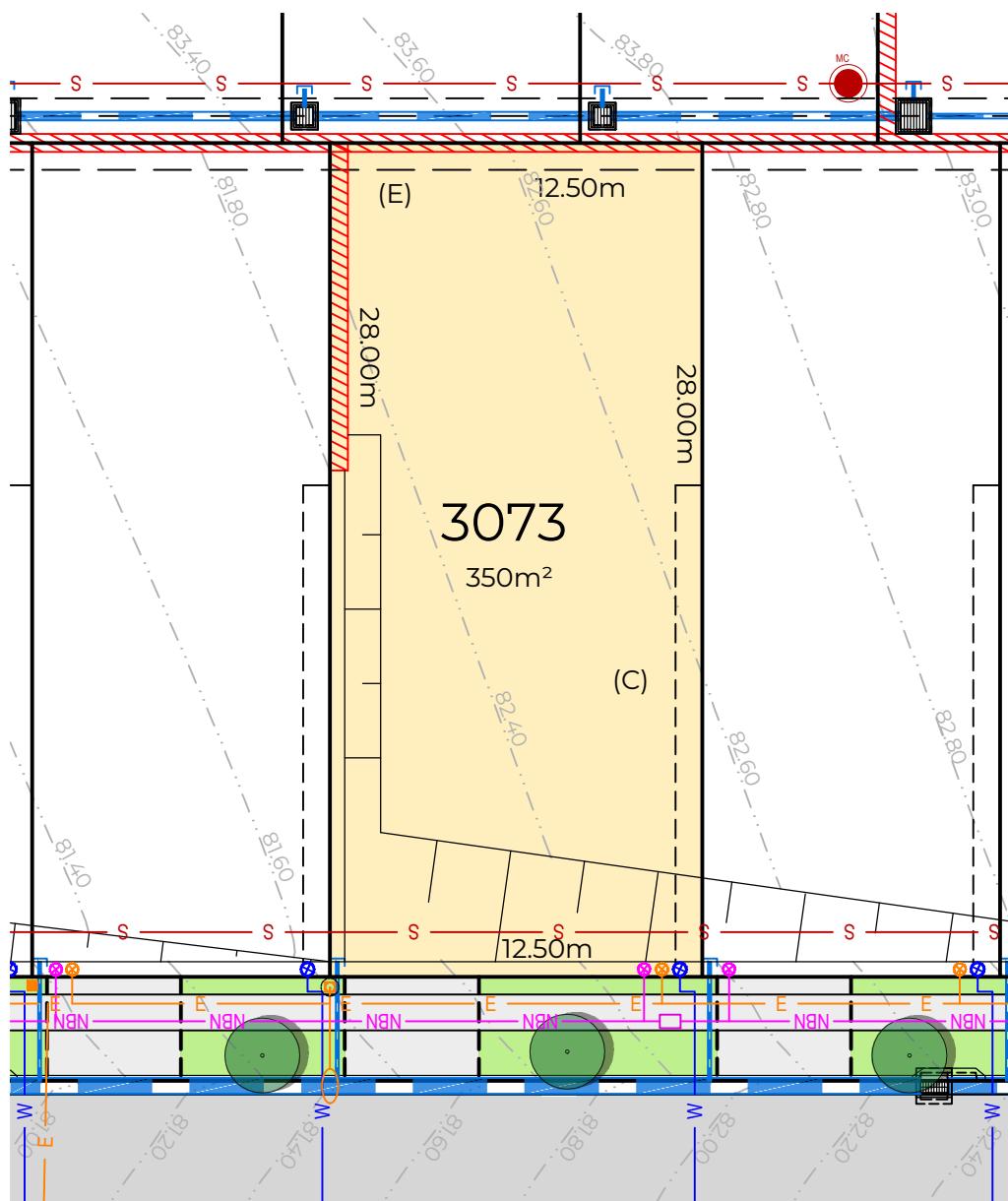
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3073

STAGE 03 | THE HILLTOP



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# BIRLING

## Lot Plan

02 9050 0555

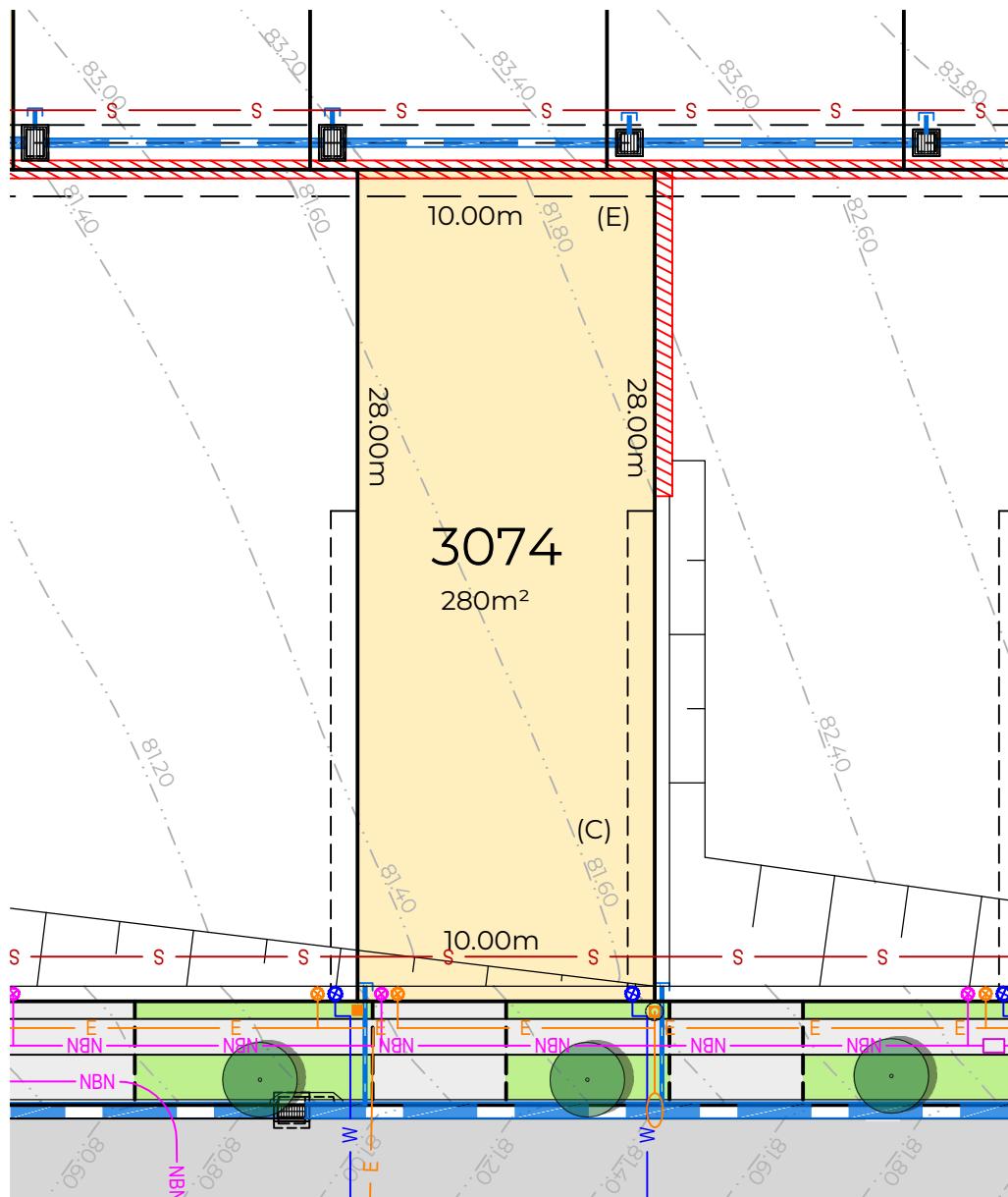
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

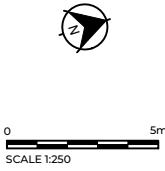
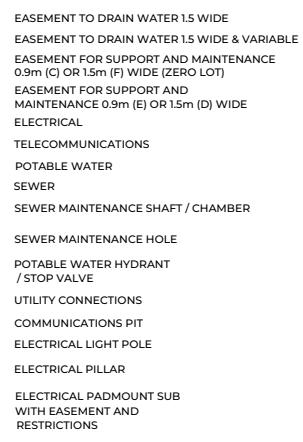
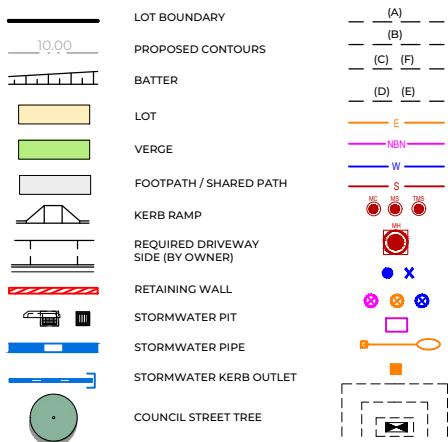
# Lot 3074

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



02 9050 0555

## SALES CENTRE

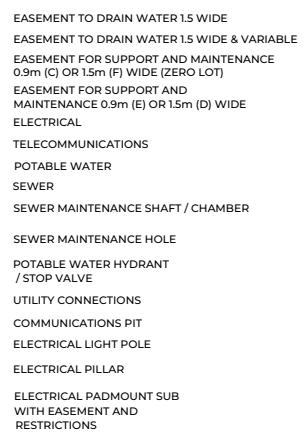
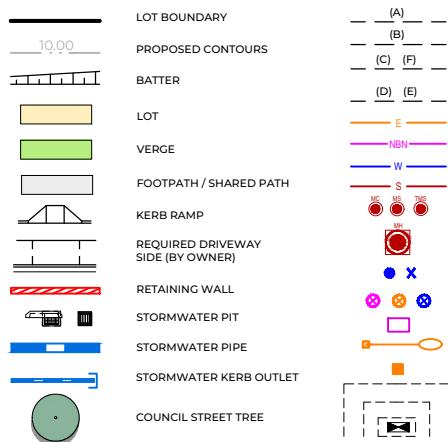
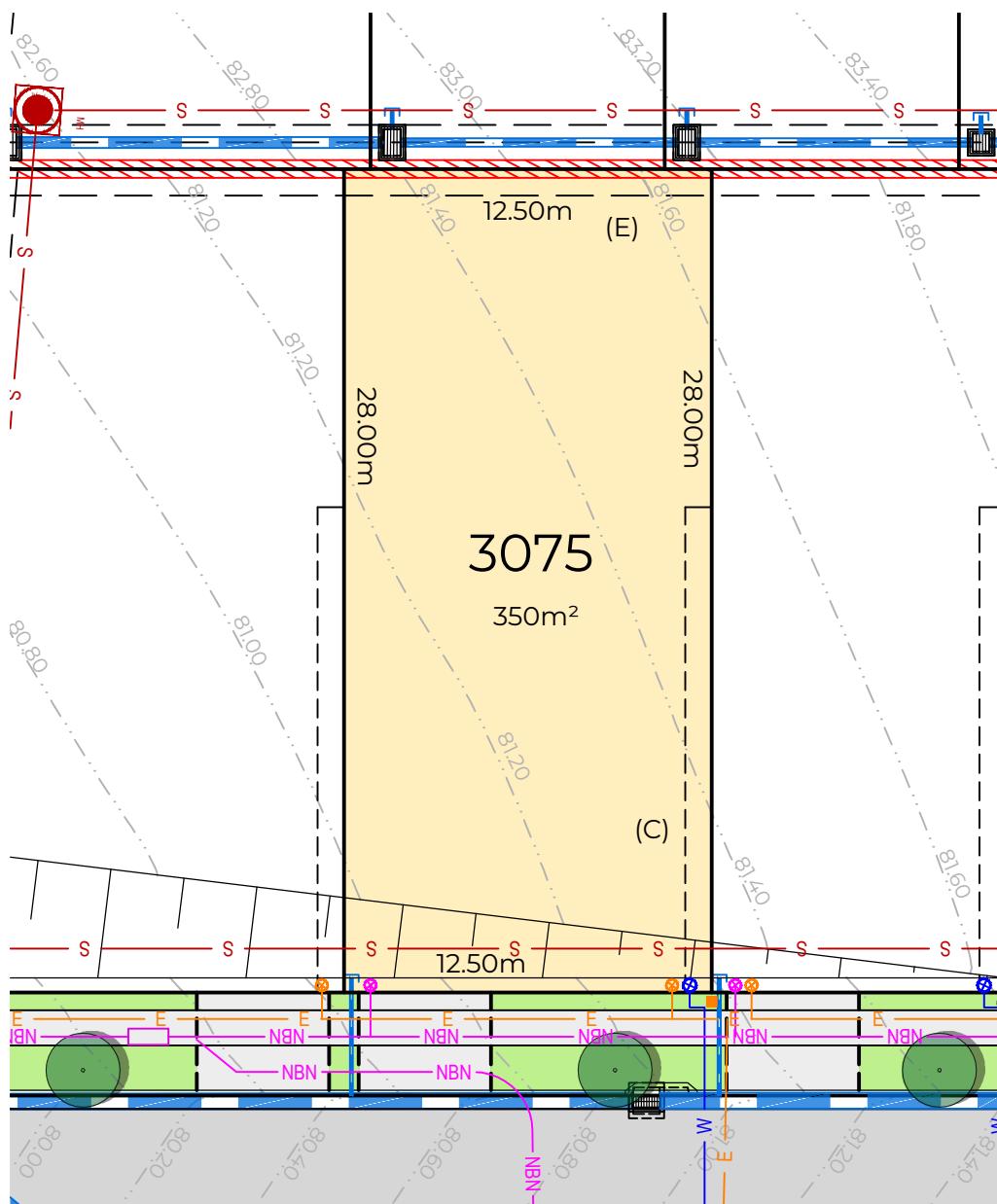
975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3075

## STAGE 03 | THE HILLTOP



0  
5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

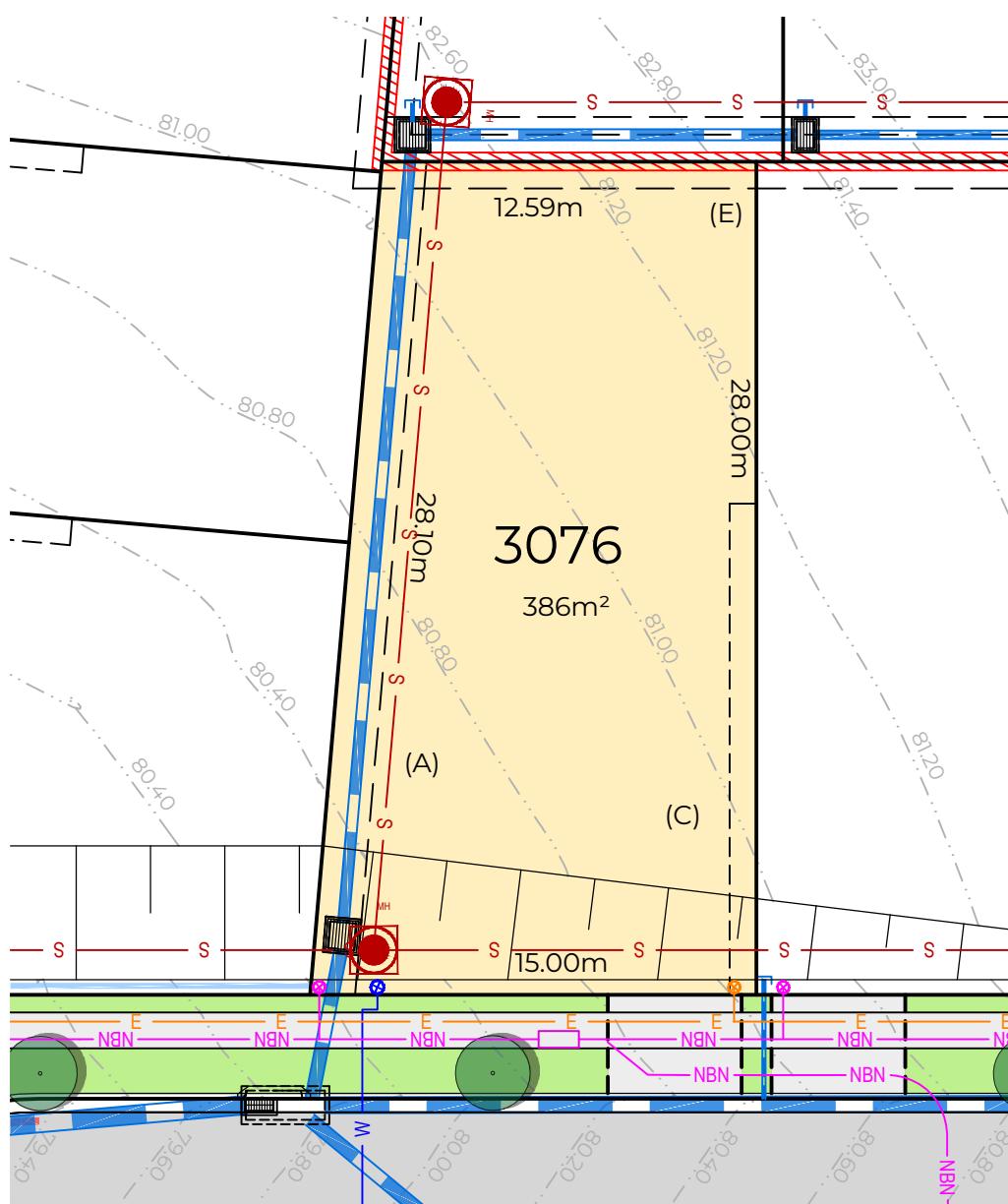
# Lot 3076

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



Legend:

- LOT BOUNDARY
- PROPOSED CONTOURS
- BATTER
- LOT
- VERGE
- FOOTPATH / SHARED PATH
- KERB RAMP
- REQUIRED DRIVEWAY SIDE (BY OWNER)
- RETAINING WALL
- STORMWATER PIT
- STORMWATER PIPE
- STORMWATER KERB OUTLET
- COUNCIL STREET TREE

(A) (B) (C) (F) (D) (E) E NBN W S MC GS THIS TMI

EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE  
0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND  
MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS



0 5m  
SCALE 1:250

02 9050 0555

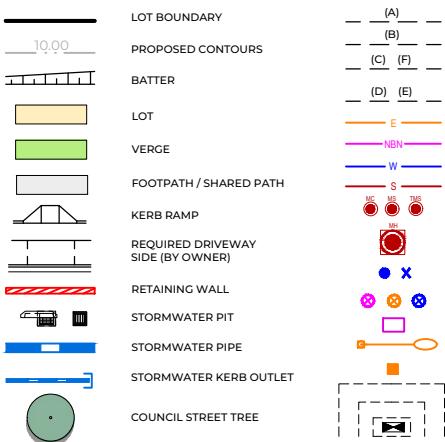
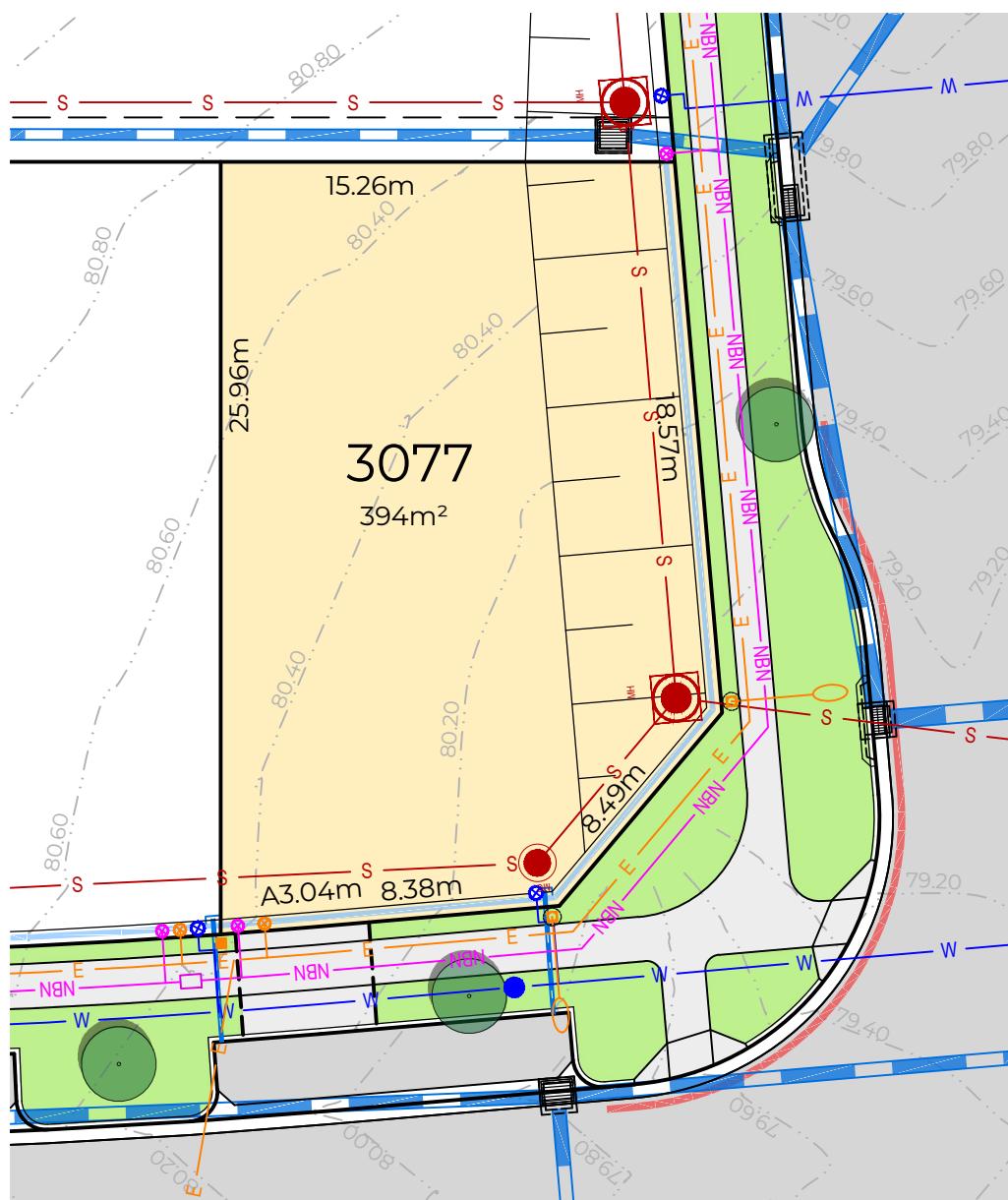
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3077

STAGE 03 | THE HILLTOP



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (G) POTABLE WATER  
 (H) SEWER  
 (I) SEWER MAINTENANCE SHAFT / CHAMBER  
 (J) SEWER MAINTENANCE HOLE  
 (K) POTABLE WATER HYDRANT / STOP VALVE  
 (L) UTILITY CONNECTIONS  
 (M) COMMUNICATIONS PIT  
 (N) ELECTRICAL LIGHT POLE  
 (O) ELECTRICAL PILLAR  
 (P) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

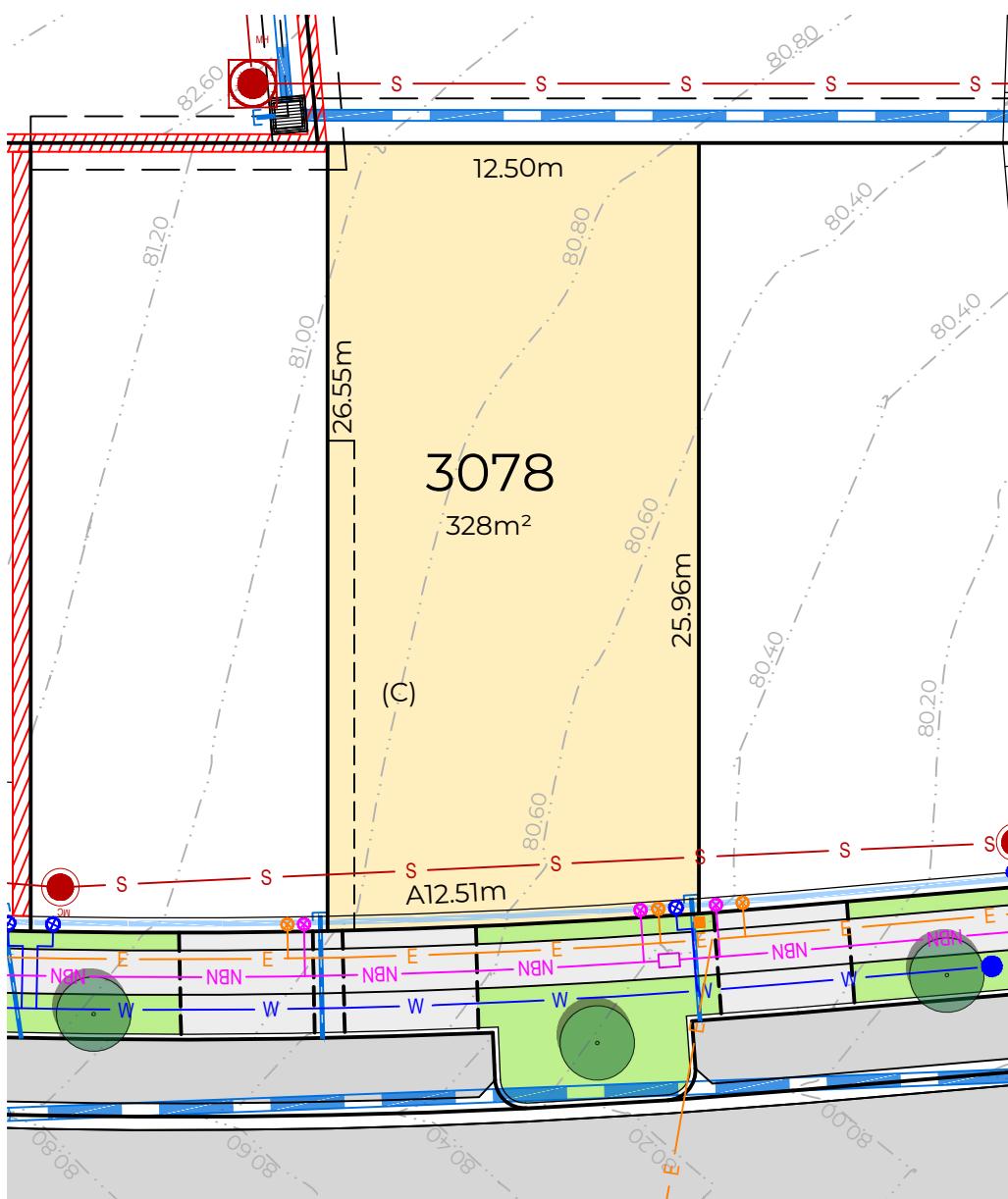
# Lot 3078

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



This legend provides a key for symbols used in the site plan, organized into two columns. The left column lists symbols with their corresponding labels, and the right column lists symbols with their corresponding labels. A scale bar and north arrow are also included.

LOT BOUNDARY	(A)	EASEMENT TO DRAIN WATER 1.5 WIDE	Note A two storey requirement applies to this lot - Refer Sales Contract
PROPOSED CONTOURS	(B)	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE	
BATTER	(C) (F)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)	
LOT	(D) (E)	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE	
VERGE	E	ELECTRICAL	
FOOTPATH / SHARED PATH	NBN	TELECOMMUNICATIONS	
KERB RAMP	W	POTABLE WATER	
REQUIRED DRIVEWAY SIDE (BY OWNER)	S	SEWER	
RETAINING WALL	MR	SEWER MAINTENANCE SHAFT / CHAMBER	
STORMWATER PIT	HYD	SEWER MAINTENANCE HOLE	
STORMWATER PIPE	X	POTABLE WATER HYDRANT / STOP VALVE	
STORMWATER KERB OUTLET	Utility	UTILITY CONNECTIONS	
COUNCIL STREET TREE	ELP	COMMUNICATIONS PIT	
	EP	ELECTRICAL LIGHT POLE	
	EP	ELECTRICAL PILLAR	
	Dashed Box	ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS	

0 5m  
SCALE 1:250

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02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

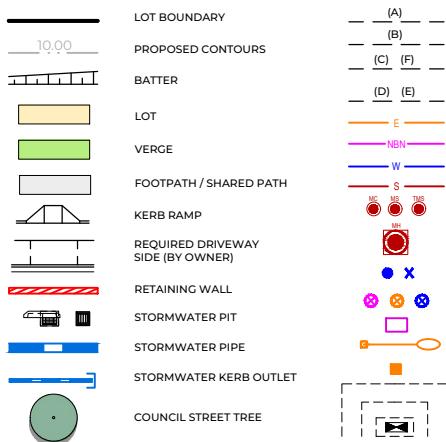
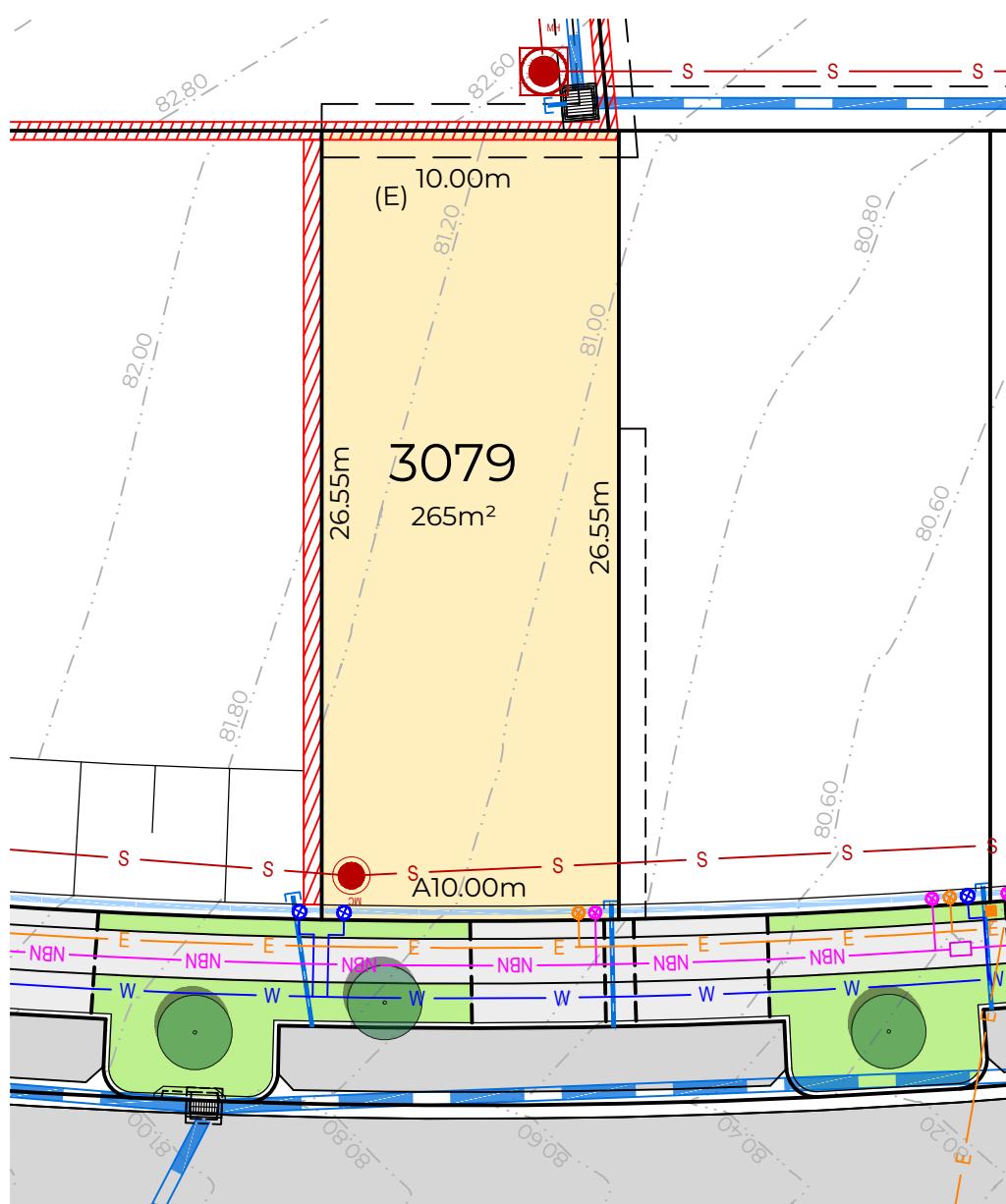
# Lot 3079

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



LOT BOUNDARY  
 PROPOSED CONTOURS  
 BATTER  
 LOT  
 VERGE  
 FOOTPATH / SHARED PATH  
 KERB RAMP  
 REQUIRED DRIVEWAY SIDE (BY OWNER)  
 RETAINING WALL  
 STORMWATER PIT  
 STORMWATER PIPE  
 STORMWATER KERB OUTLET  
 COUNCIL STREET TREE

(A)  
 (B)  
 (C) (F)  
 (D) (E)  
 E  
 NBN  
 W  
 S

EASEMENT TO DRAIN WATER 1.5 WIDE  
 EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 ELECTRICAL  
 TELECOMMUNICATIONS  
 POTABLE WATER  
 SEWER  
 SEWER MAINTENANCE SHAFT / CHAMBER  
 SEWER MAINTENANCE HOLE  
 POTABLE WATER HYDRANT / STOP VALVE  
 UTILITY CONNECTIONS  
 COMMUNICATIONS PIT  
 ELECTRICAL LIGHT POLE  
 ELECTRICAL PILLAR  
 ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

0 5m  
 SCALE 1:250

02 9050 0555

[info@birlingcommunity.com.au](mailto:info@birlingcommunity.com.au)  
[birlingcommunity.com.au](http://birlingcommunity.com.au)

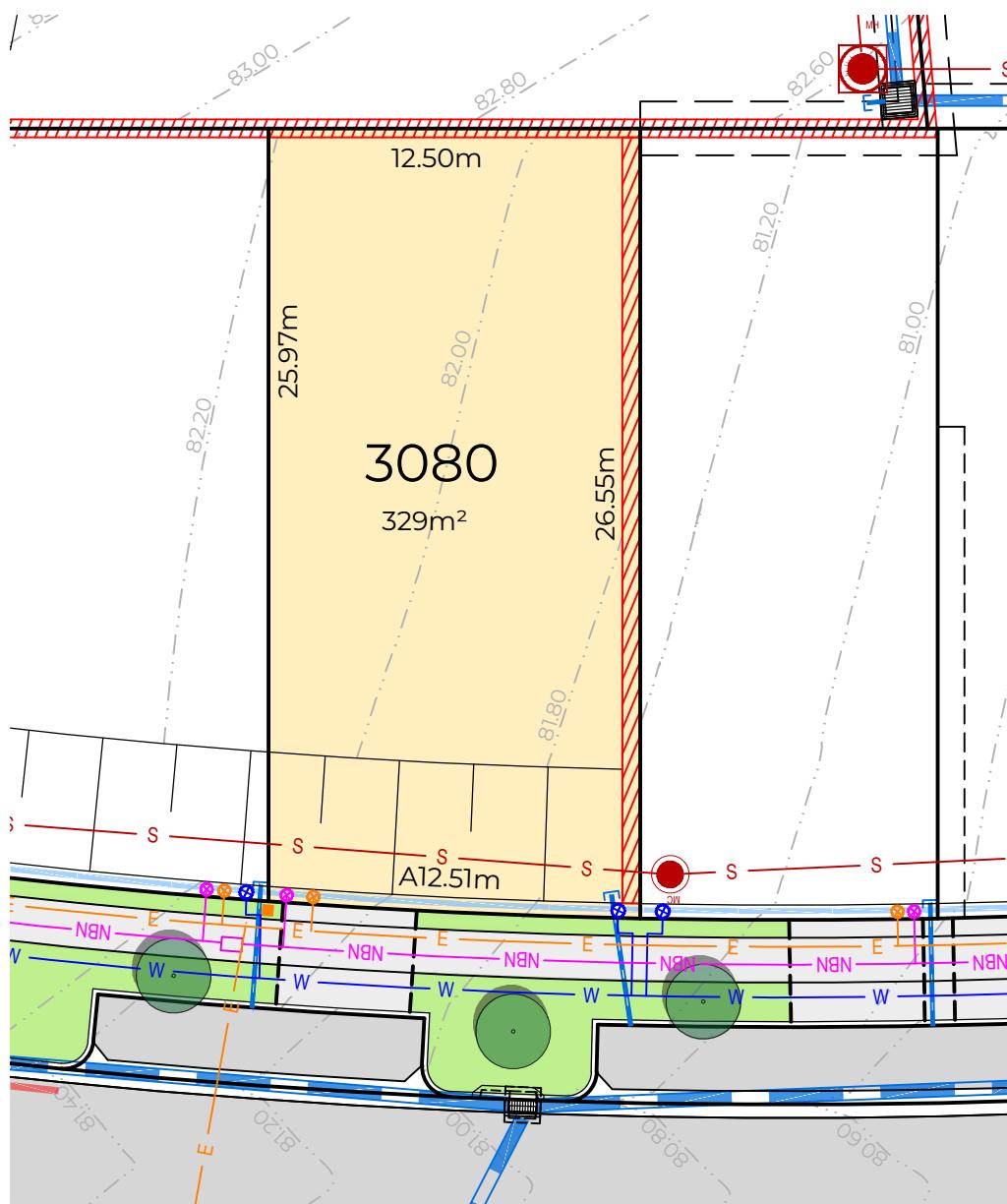
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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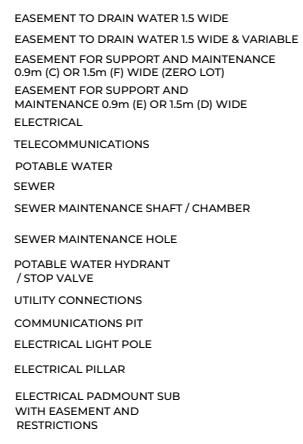
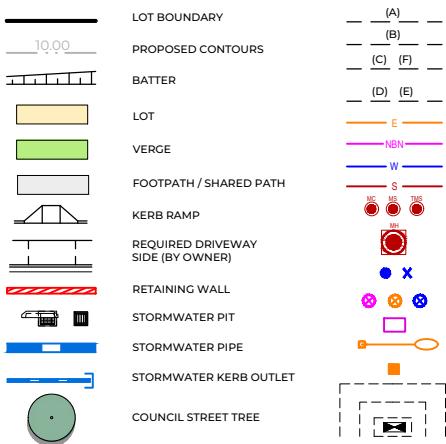
# Lot 3080

## STAGE 03 | THE HILLTOP



# BIRLING

# Lot Plan



**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by 



02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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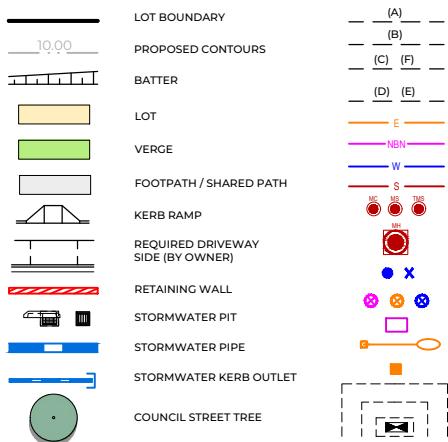
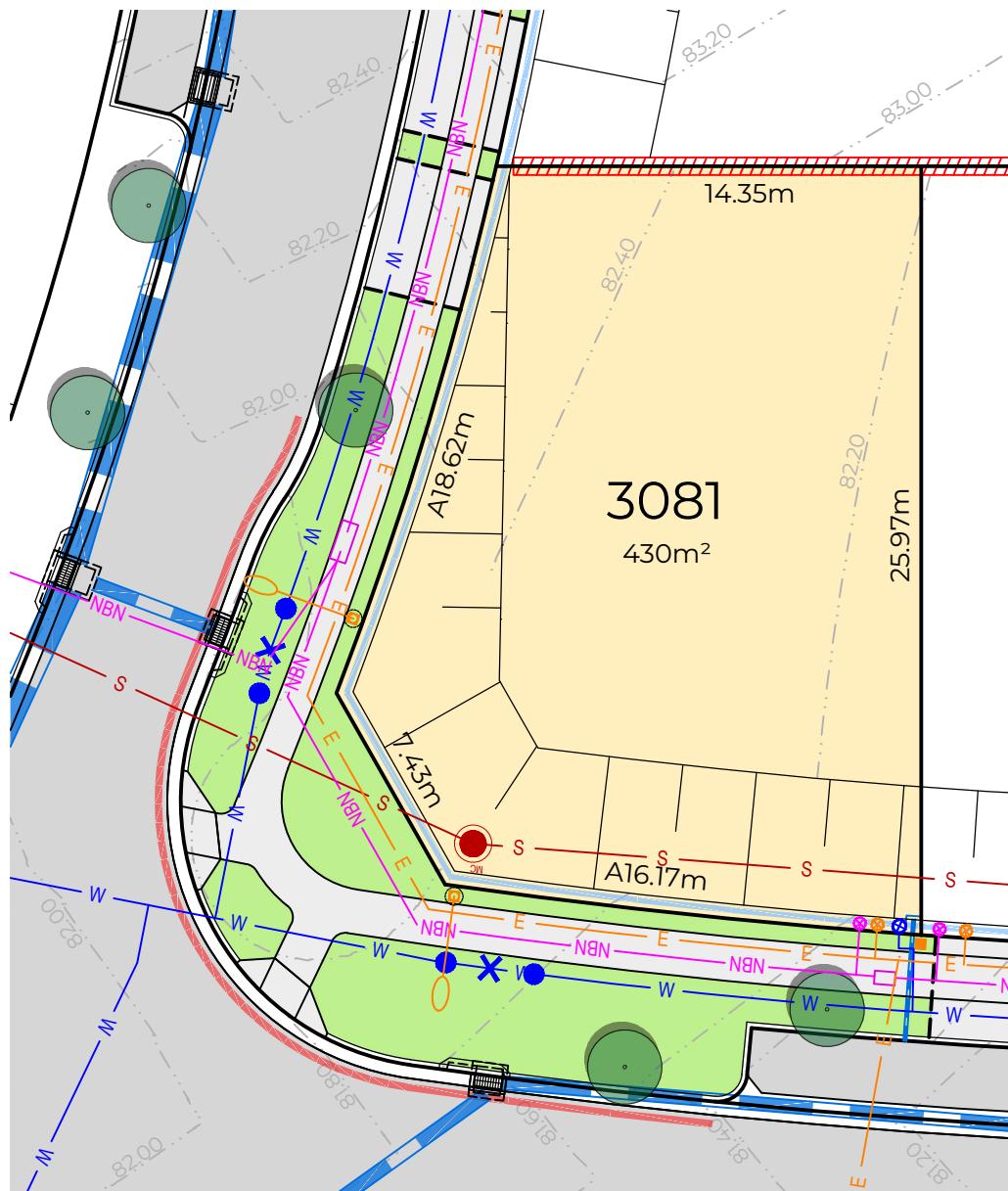
# Lot 3081

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan



LOT BOUNDARY  
 PROPOSED CONTOURS  
 BATTER  
 LOT  
 VERGE  
 FOOTPATH / SHARED PATH  
 KERB RAMP  
 REQUIRED DRIVEWAY SIDE (BY OWNER)  
 RETAINING WALL  
 STORMWATER PIT  
 STORMWATER PIPE  
 STORMWATER KERB OUTLET  
 COUNCIL STREET TREE

(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (W) POTABLE WATER  
 (S) SEWER  
 (H) SEWER MAINTENANCE SHAFT / CHAMBER  
 (M) SEWER MAINTENANCE HOLE  
 (W) POTABLE WATER HYDRANT / STOP VALVE  
 (U) UTILITY CONNECTIONS  
 (C) COMMUNICATIONS PIT  
 (E) ELECTRICAL LIGHT POLE  
 (P) ELECTRICAL PILLAR  
 (E) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

**Note** On-street parking restrictions apply as denoted by



0 5m  
SCALE 1:250

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

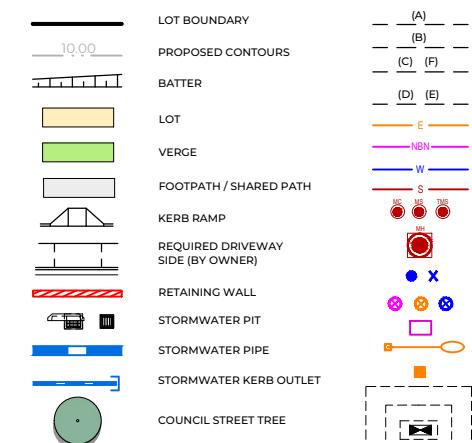
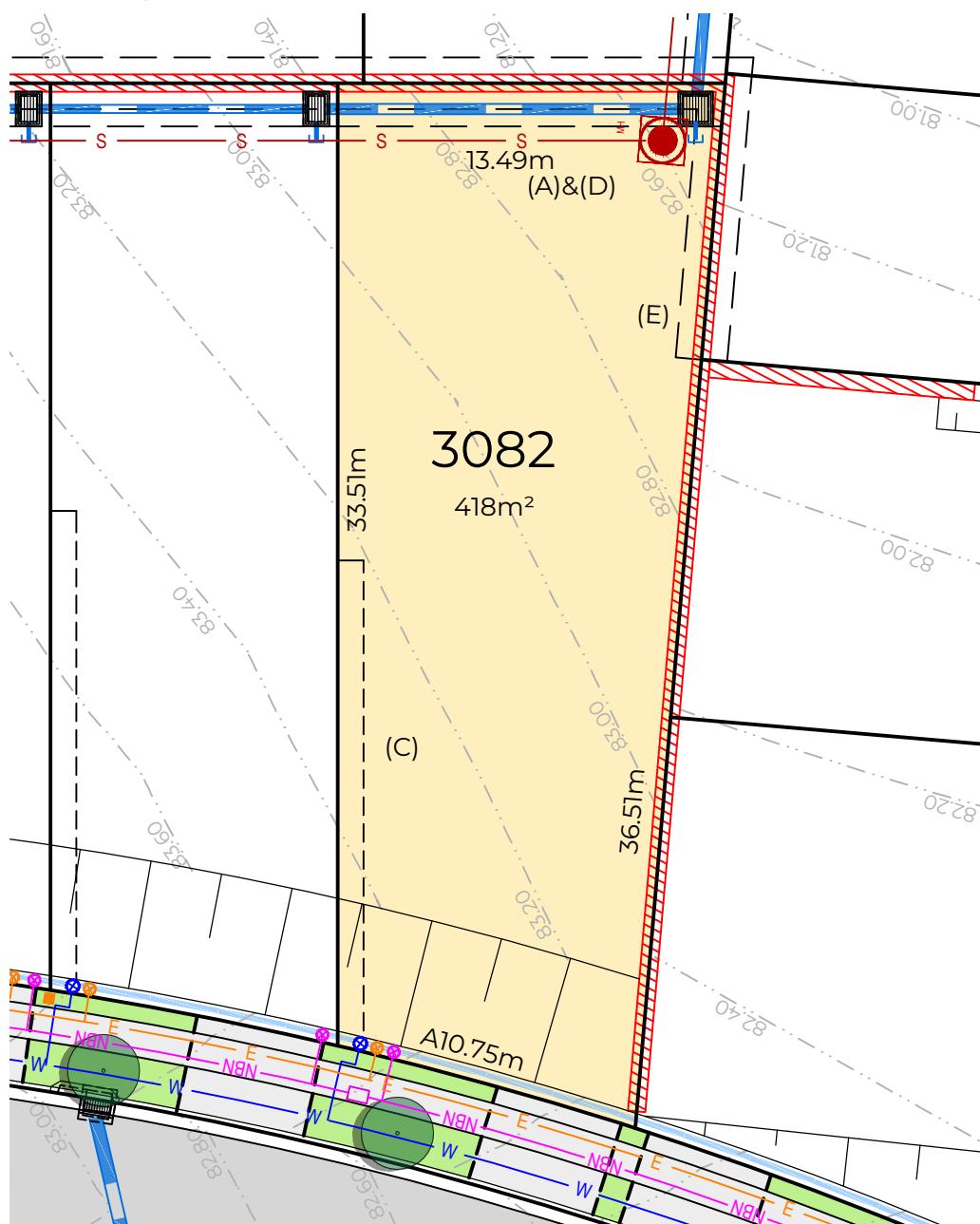
SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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# Lot 3082

STAGE 03 | THE HILLTOP



(A) EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) ELECTRICAL  
 (F) TELECOMMUNICATIONS  
 (G) POTABLE WATER  
 (H) SEWER  
 (I) SEWER MAINTENANCE SHAFT / CHAMBER  
 (J) SEWER MAINTENANCE HOLE  
 (K) POTABLE WATER HYDRANT / STOP VALVE  
 (L) UTILITY CONNECTIONS  
 (M) COMMUNICATIONS PIT  
 (N) ELECTRICAL LIGHT POLE  
 (O) ELECTRICAL PILLAR  
 (P) ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract  
**Note** Type 3 front fence restriction by owner as denoted by

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

02 9050 0555

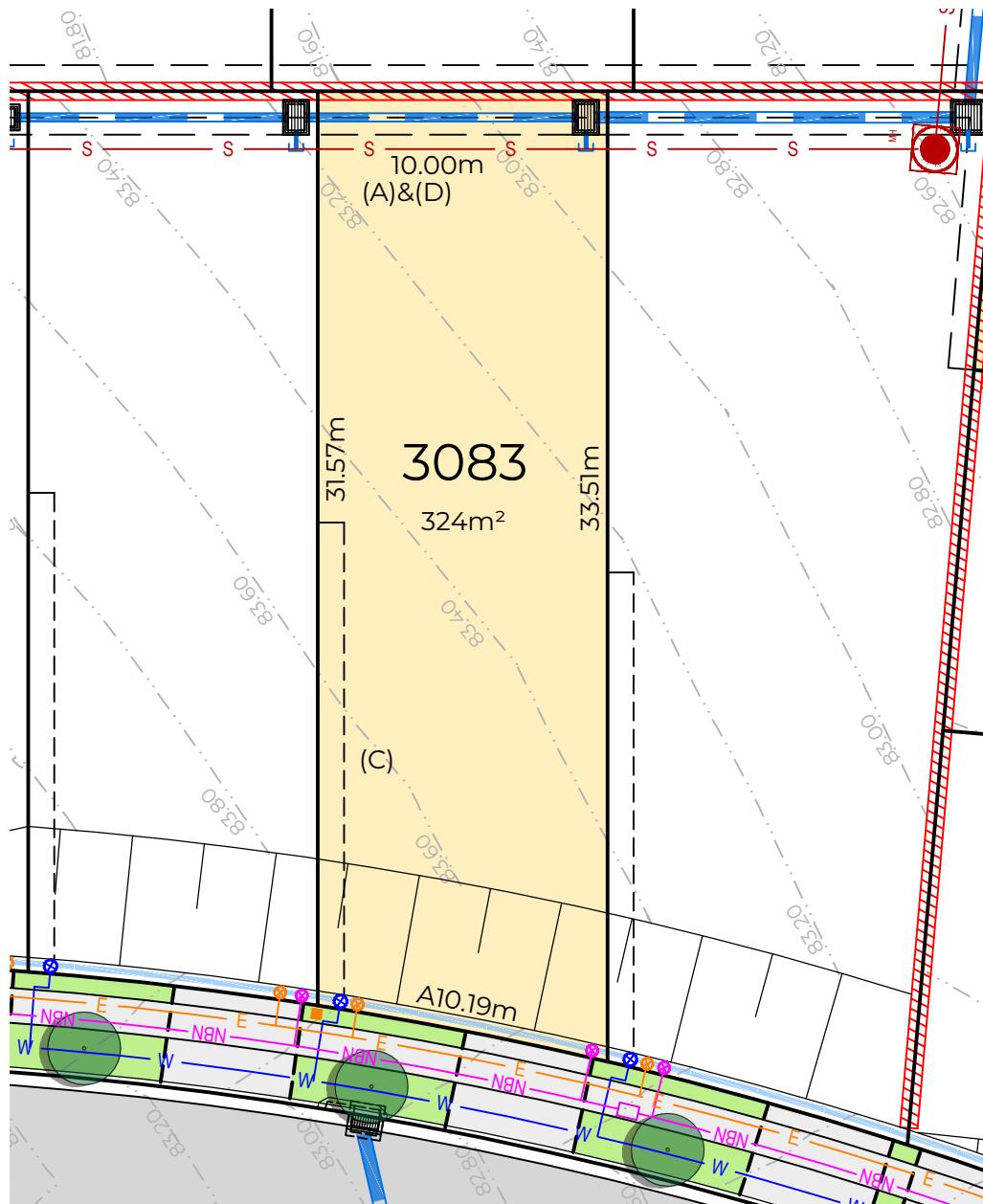
info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3083

STAGE 03 | THE HILLTOP



B

BIRLING

Lot Plan

02 9050 0555

info@birlingcommunity.com.au  
birlingcommunity.com.au

SALES CENTRE

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Bringelly NSW 2556

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0 5m  
SCALE 1:250

Cameron Brae  
GROUP

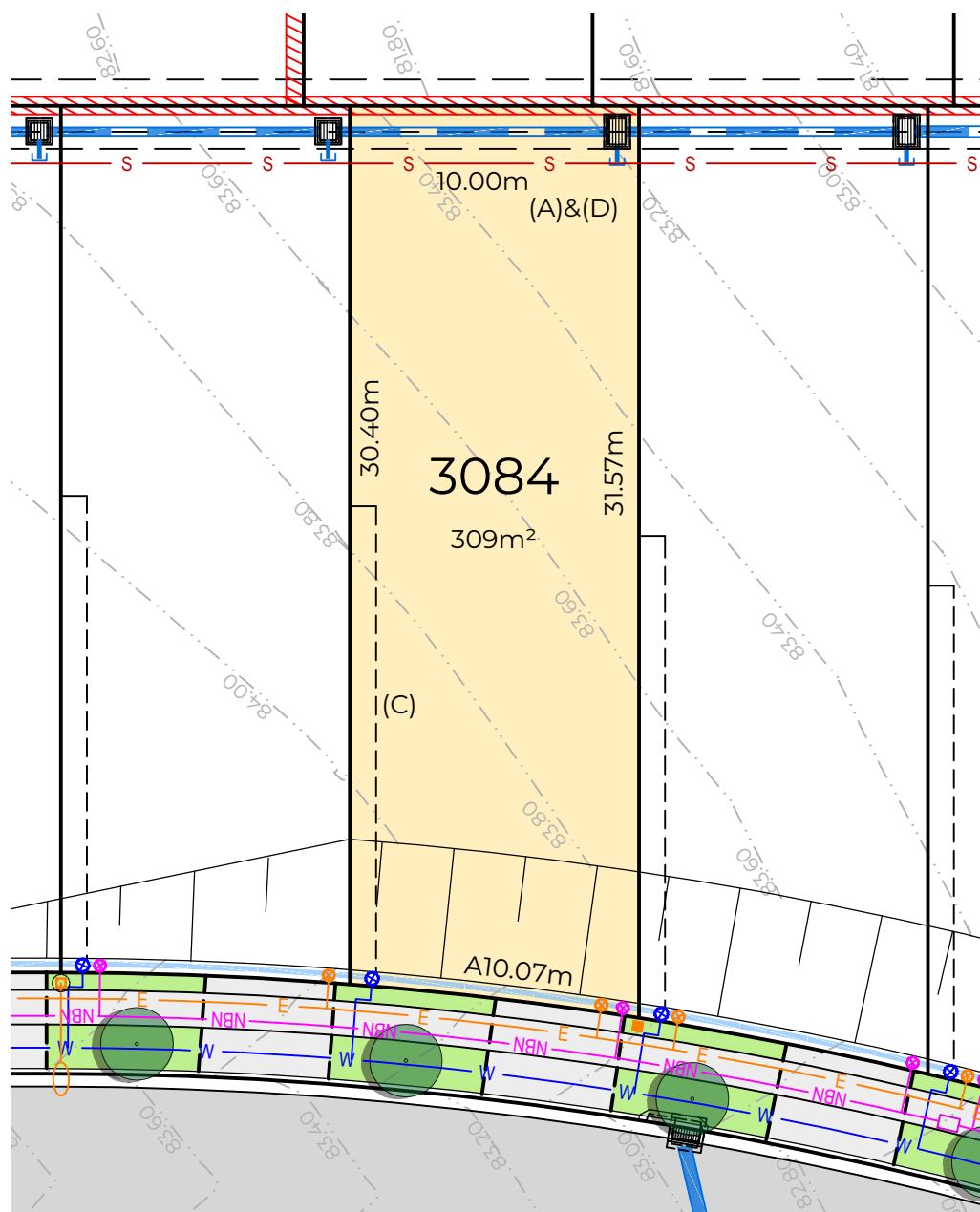
# Lot 3084

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT / STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by 

02 9050 0555

SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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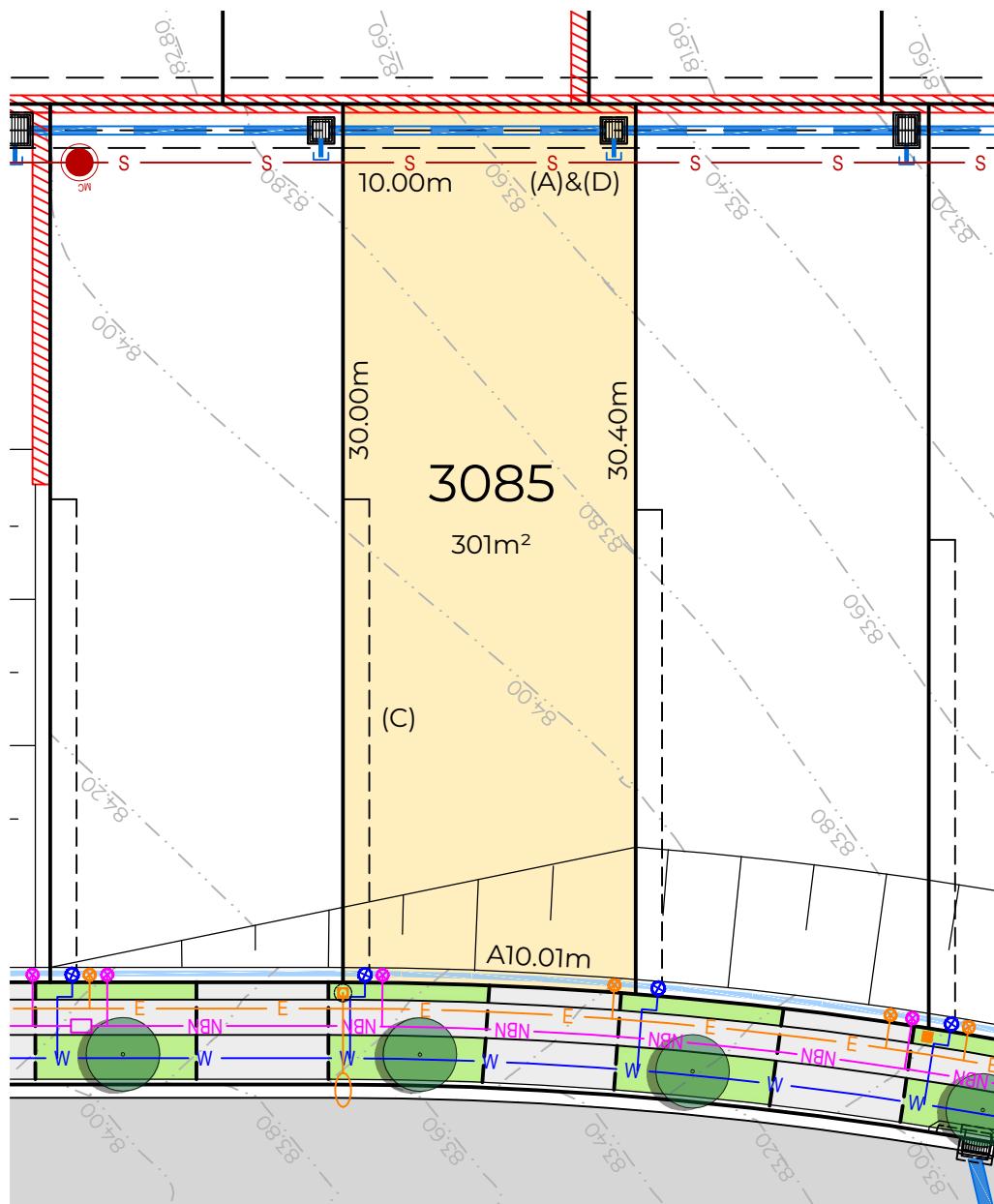
# Lot 3085

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



**LOT BOUNDARY** (A) — EASEMENT TO DRAIN WATER 1.5 WIDE  
 (B) — EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
 (C) — EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
 (D) — EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
 (E) — ELECTRICAL  
 (F) — TELECOMMUNICATIONS  
 (G) — POTABLE WATER  
 (H) — SEWER  
 (I) — SEWER MAINTENANCE SHAFT / CHAMBER  
 (J) — SEWER MAINTENANCE HOLE  
 (K) — POTABLE WATER HYDRANT / STOP VALVE  
 (L) — UTILITY CONNECTIONS  
 (M) — COMMUNICATIONS PIT  
 (N) — ELECTRICAL LIGHT POLE  
 (O) — ELECTRICAL PILLAR  
 (P) — ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS  
 (Q) — 10.00  
 (R) — BATTER  
 (S) — LOT  
 (T) — VERGE  
 (U) — FOOTPATH / SHARED PATH  
 (V) — KERB RAMP  
 (W) — REQUIRED DRIVEWAY SIDE (BY OWNER)  
 (X) — RETAINING WALL  
 (Y) — STORMWATER PIT  
 (Z) — STORMWATER PIPE  
 (AA) — STORMWATER KERB OUTLET  
 (BB) — COUNCIL STREET TREE  
 (CC) — 5m  
 (DD) — 0  
 (EE) — Note A Two storey requirement applies to this lot - Refer Sales Contract  
 (FF) — Note Type 3 front fence restriction by owner as denoted by

02 9050 0555

## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

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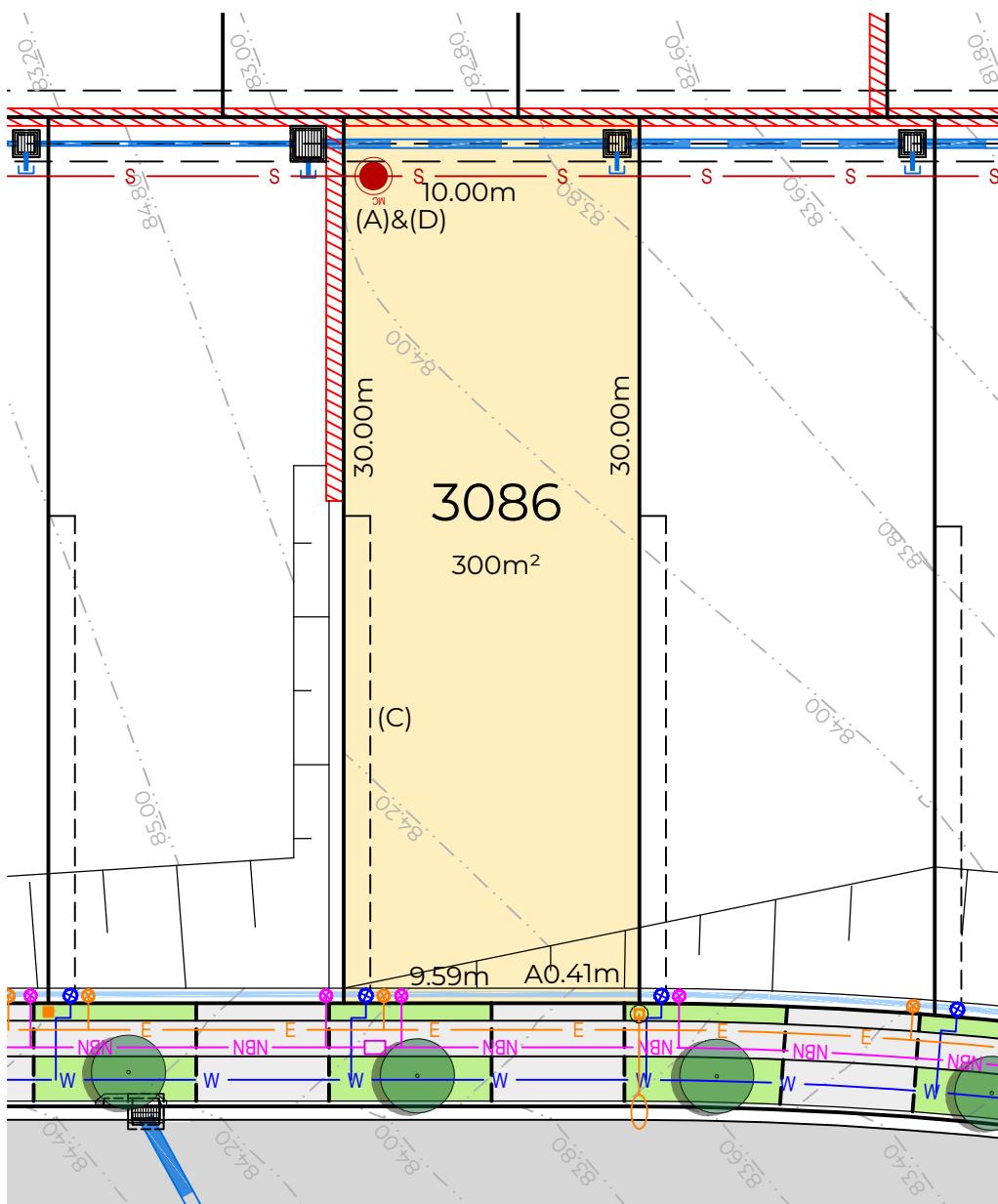
# Lot 3086

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



LOT BOUNDARY	— (A) —	EASEMENT TO DRAIN WATER 1.5 WIDE	<b>Note</b> A two storey requirement applies to this lot - Refer Sales Contract
PROPOSED CONTOURS	— (B) —	EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE	
BATTER	— (C) (F) —	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)	
LOT	— (D) (E) —	EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE	
VERGE	— E —	ELECTRICAL	<b>Note</b> Type 3 front fence restriction by owner as denoted by 
FOOTPATH / SHARED PATH	— NBN —	TELECOMMUNICATIONS	
KERB RAMP	— W —	POTABLE WATER	
REQUIRED DRIVEWAY SIDE (BY OWNER)	— S —	SEWER	
RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER	
STORMWATER PIT		SEWER MAINTENANCE HOLE	
STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE	
STORMWATER KERB OUTLET		UTILITY CONNECTIONS	
COUNCIL STREET TREE		COMMUNICATIONS PIT	
		ELECTRICAL LIGHT POLE	
		ELECTRICAL PILLAR	
		ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS	
		0 5m	
		SCALE 1:250	

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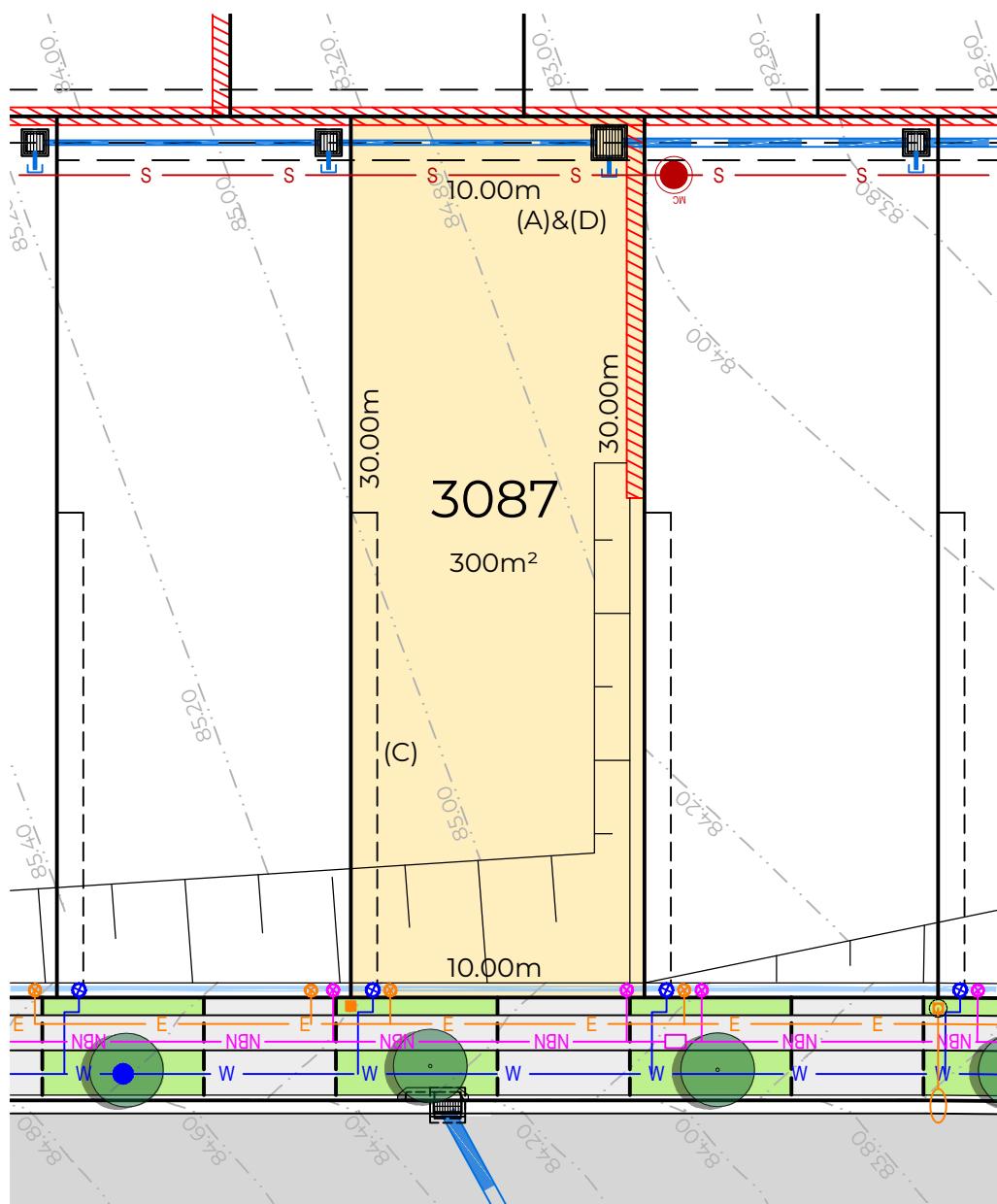
## SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556



# Lot 3087

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

LOT BOUNDARY

PROPOSED CONTOURS

BATTER

LOT

VERGE

FOOTPATH / SHARED PATH

KERB RAMP

REQUIRED DRIVEWAY SIDE (BY OWNER)

RETAINING WALL

STORMWATER PIT

STORMWATER PIPE

STORMWATER KERB OUTLET

COUNCIL STREET TREE

(A)

(B)

(C) (F)

(D) (E)

E

NBN

W

S

EASEMENT TO DRAIN WATER 1.5 WIDE

EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE

EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)

EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE

ELECTRICAL

TELECOMMUNICATIONS

POTABLE WATER

SEWER

SEWER MAINTENANCE SHAFT / CHAMBER

SEWER MAINTENANCE HOLE

POTABLE WATER HYDRANT / STOP VALVE

UTILITY CONNECTIONS

COMMUNICATIONS PIT

ELECTRICAL LIGHT POLE

ELECTRICAL PILLAR

ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m  
SCALE 1:250

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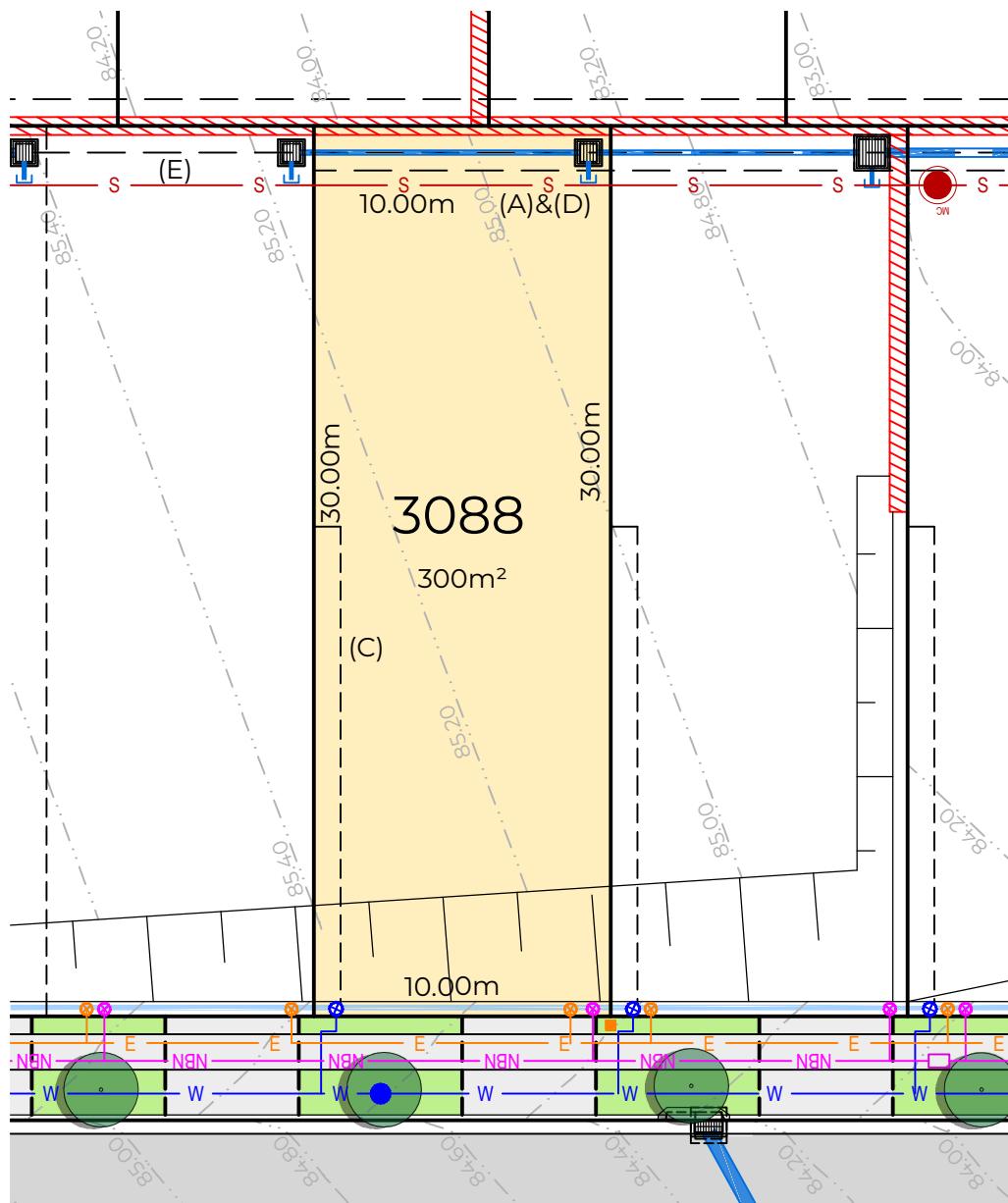
SALES CENTRE

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Bringelly NSW 2556

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# Lot 3088

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

LOT BOUNDARY

PROPOSED CONTOURS

BATTER

LOT

VERGE

FOOTPATH / SHARED PATH

KERB RAMP

REQUIRED DRIVEWAY SIDE (BY OWNER)

RETAINING WALL

STORMWATER PIT

STORMWATER PIPE

STORMWATER KERB OUTLET

COUNCIL STREET TREE

(A)

(B)

(C) (F)

(D) (E)

E

NBN

W

S

EASEMENT TO DRAIN WATER 1.5 WIDE

EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE

EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)

EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE

ELECTRICAL

TELECOMMUNICATIONS

POTABLE WATER

SEWER

SEWER MAINTENANCE SHAFT / CHAMBER

SEWER MAINTENANCE HOLE

POTABLE WATER HYDRANT / STOP VALVE

UTILITY CONNECTIONS

COMMUNICATIONS PIT

ELECTRICAL LIGHT POLE

ELECTRICAL PILLAR

ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m  
SCALE 1:250

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SALES CENTRE

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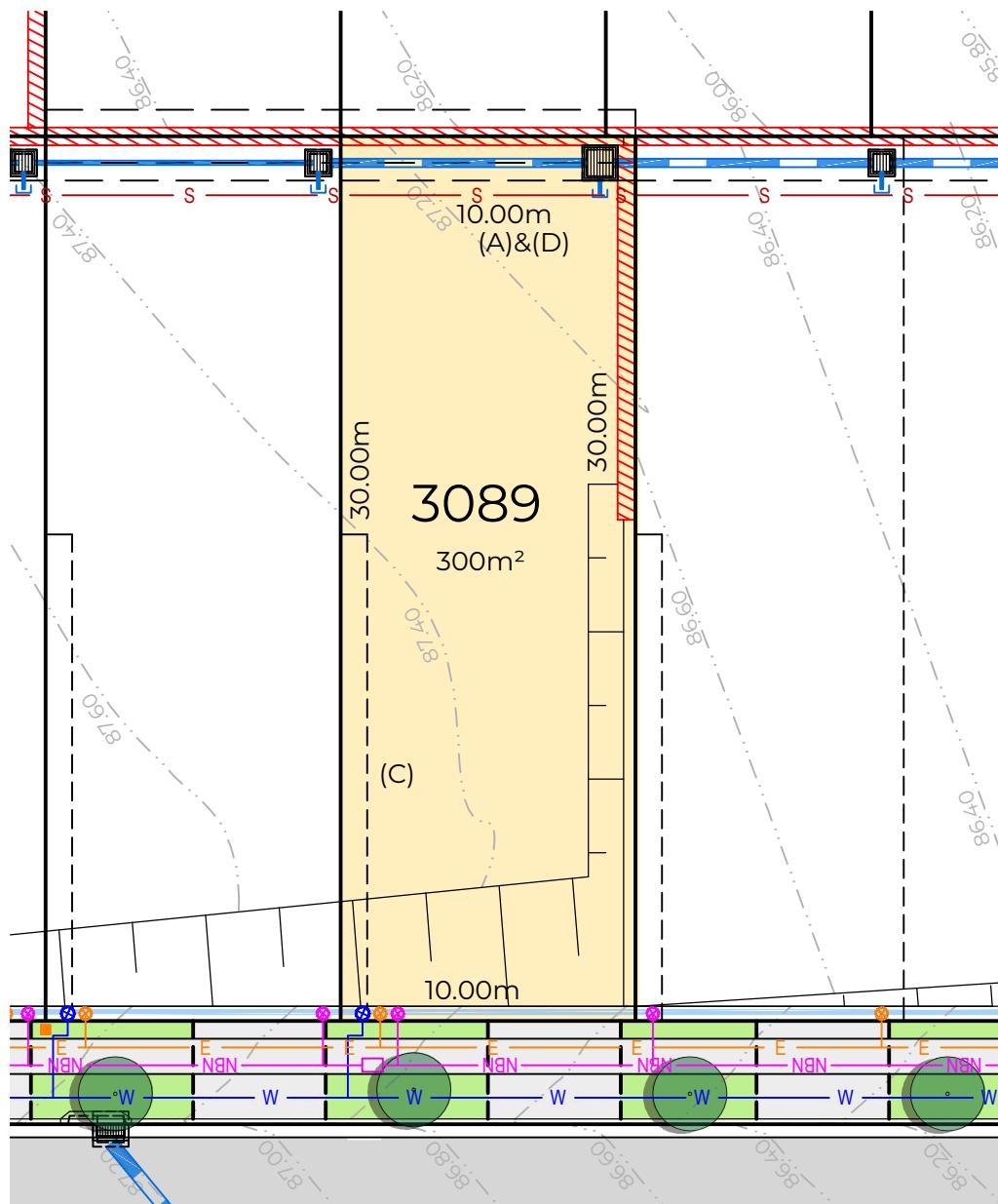
# Lot 3089

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



02 9050 0555

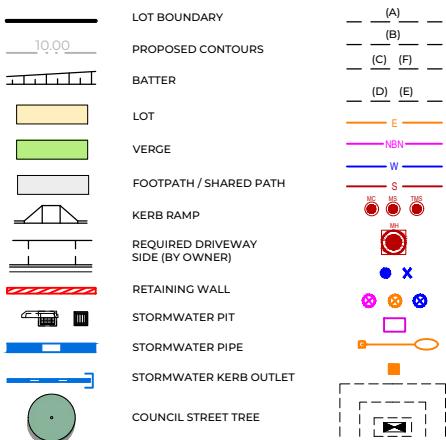
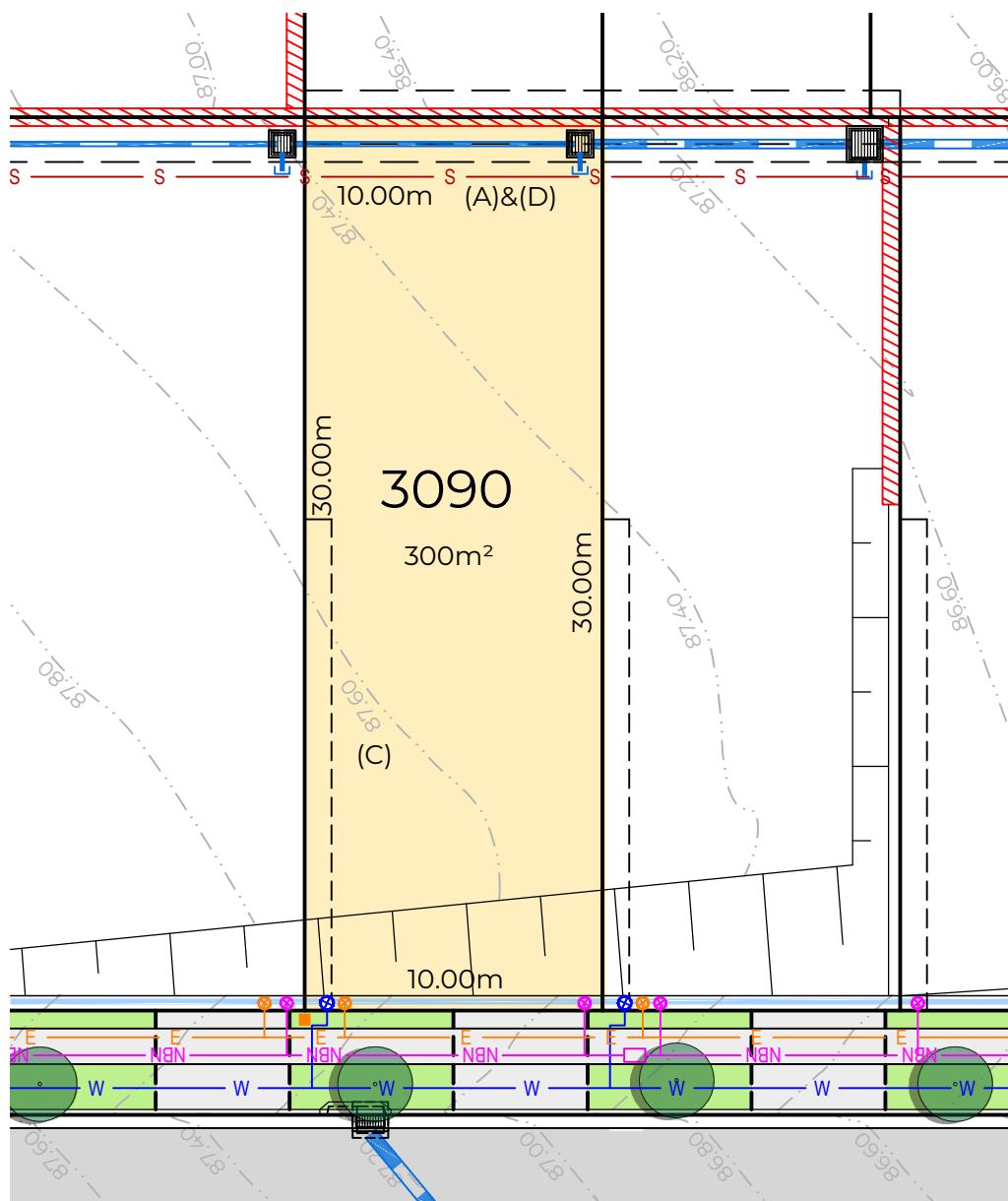
## SALES CENTRE

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Bringelly NSW 2556

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# Lot 3090

STAGE 03 | THE HILLTOP



LOT BOUNDARY  
PROPOSED CONTOURS  
BATTER  
LOT  
VERGE  
FOOTPATH / SHARED PATH  
KERB RAMP  
REQUIRED DRIVEWAY SIDE (BY OWNER)  
RETAINING WALL  
STORMWATER PIT  
STORMWATER PIPE  
STORMWATER KERB OUTLET  
COUNCIL STREET TREE

(A)  
(B)  
(C) (F)  
(D) (E)  
E  
NBN  
W  
S

EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT / STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Type 3 front fence restriction by owner as denoted by

0 5m  
SCALE 1:250

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# BIRLING

## Lot Plan

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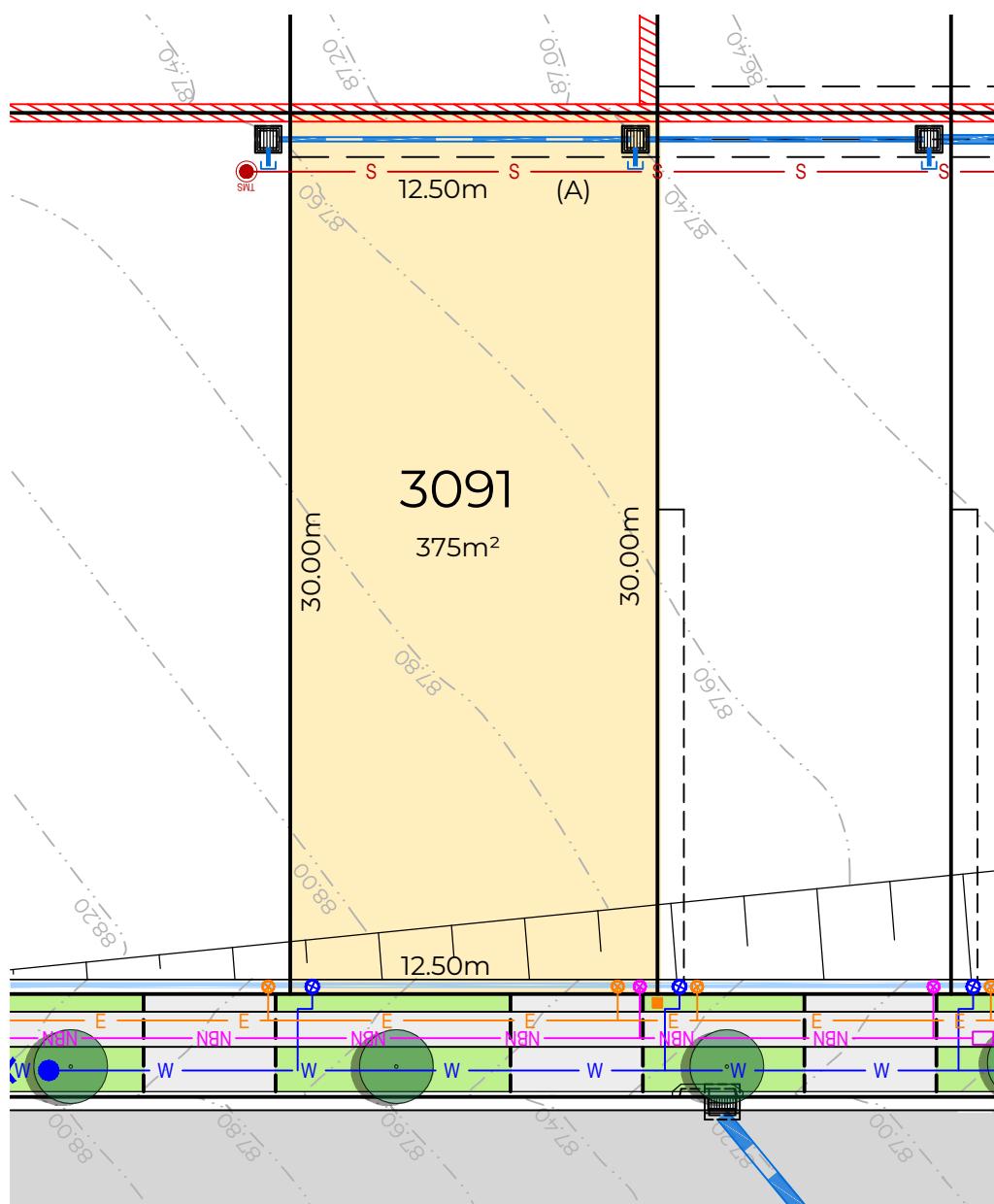
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SALES CENTRE

975 The Northern Road,  
Bringelly NSW 2556

# Lot 3091

STAGE 03 | THE HILLTOP



# BIRLING

## Lot Plan

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SALES CENTRE

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0 5m  
SCALE 1:250

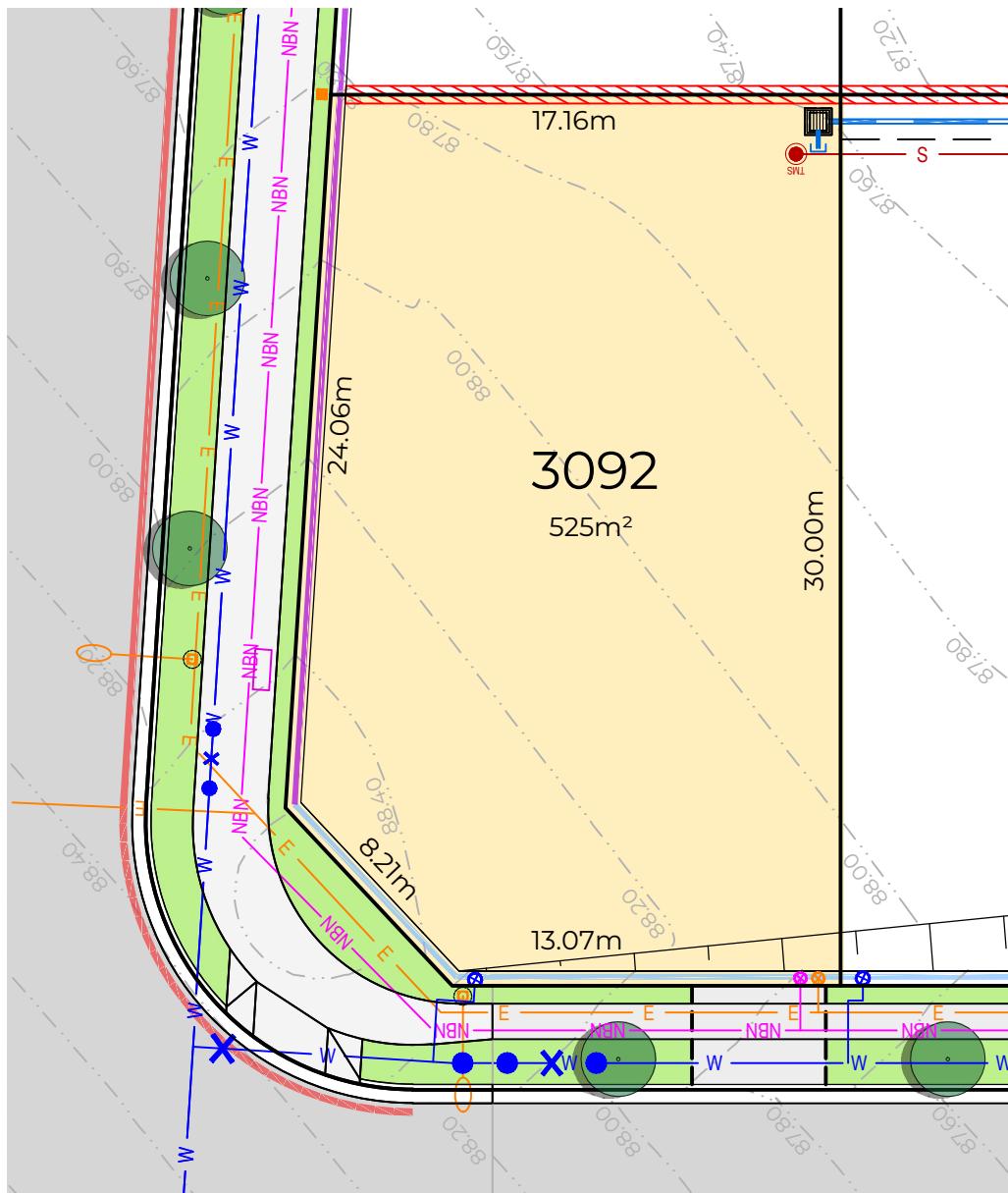
# Lot 3092

## STAGE 03 | THE HILLTOP

B

# BIRLING

# Lot Plan



EASEMENT TO DRAIN WATER 1.5 WIDE  
EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE  
EASEMENT FOR SUPPORT AND MAINTENANCE  
0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)  
EASEMENT FOR SUPPORT AND  
MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE  
ELECTRICAL  
TELECOMMUNICATIONS  
POTABLE WATER  
SEWER  
SEWER MAINTENANCE SHAFT / CHAMBER  
SEWER MAINTENANCE HOLE  
POTABLE WATER HYDRANT  
/ STOP VALVE  
UTILITY CONNECTIONS  
COMMUNICATIONS PIT  
ELECTRICAL LIGHT POLE  
ELECTRICAL PILLAR  
ELECTRICAL PADMOUNT SUB  
WITH EASEMENT AND  
RESTRICTIONS

**Note** A two storey requirement applies to this lot - Refer Sales Contract

**Note** Acoustic controls apply to this lot - Refer Sales Contract.

**Note** On-street parking restrictions apply as denoted by 

**Note** 1.8m high acoustic fence by developer as denoted by 

**Note** Type 3 front fence restriction by owner as denoted by

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SALES CENTRE

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