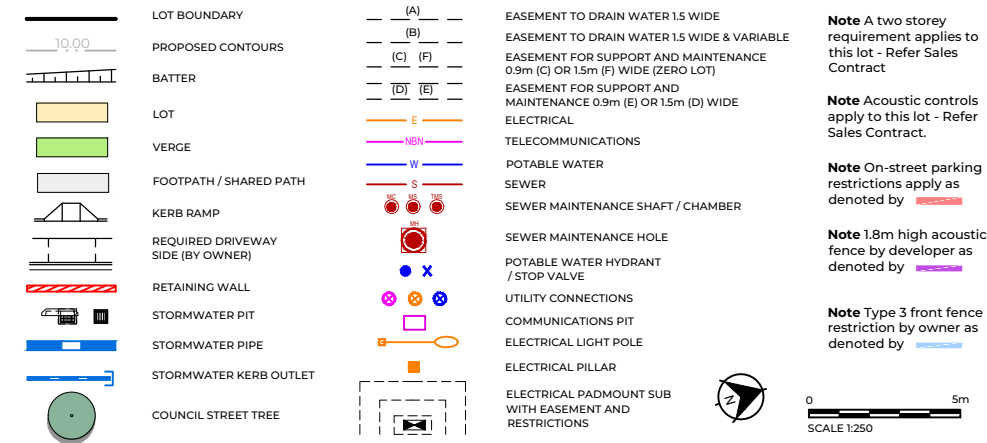
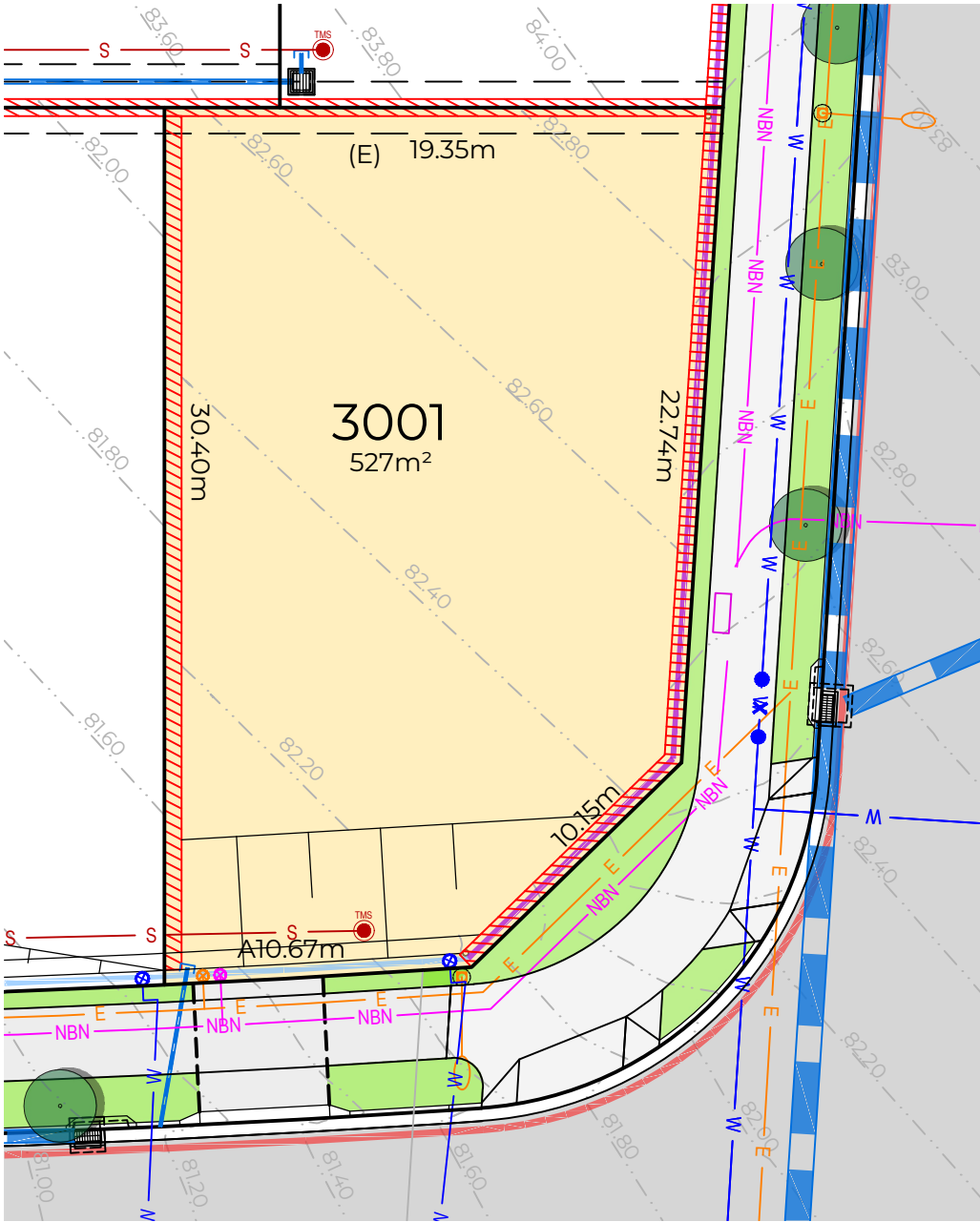


Lot 3001
STAGE 03 | THE HILLTOP



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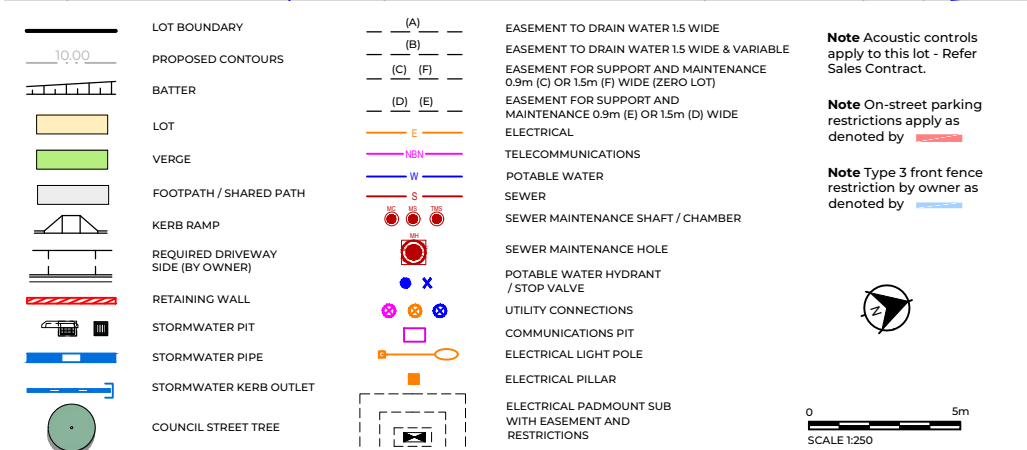
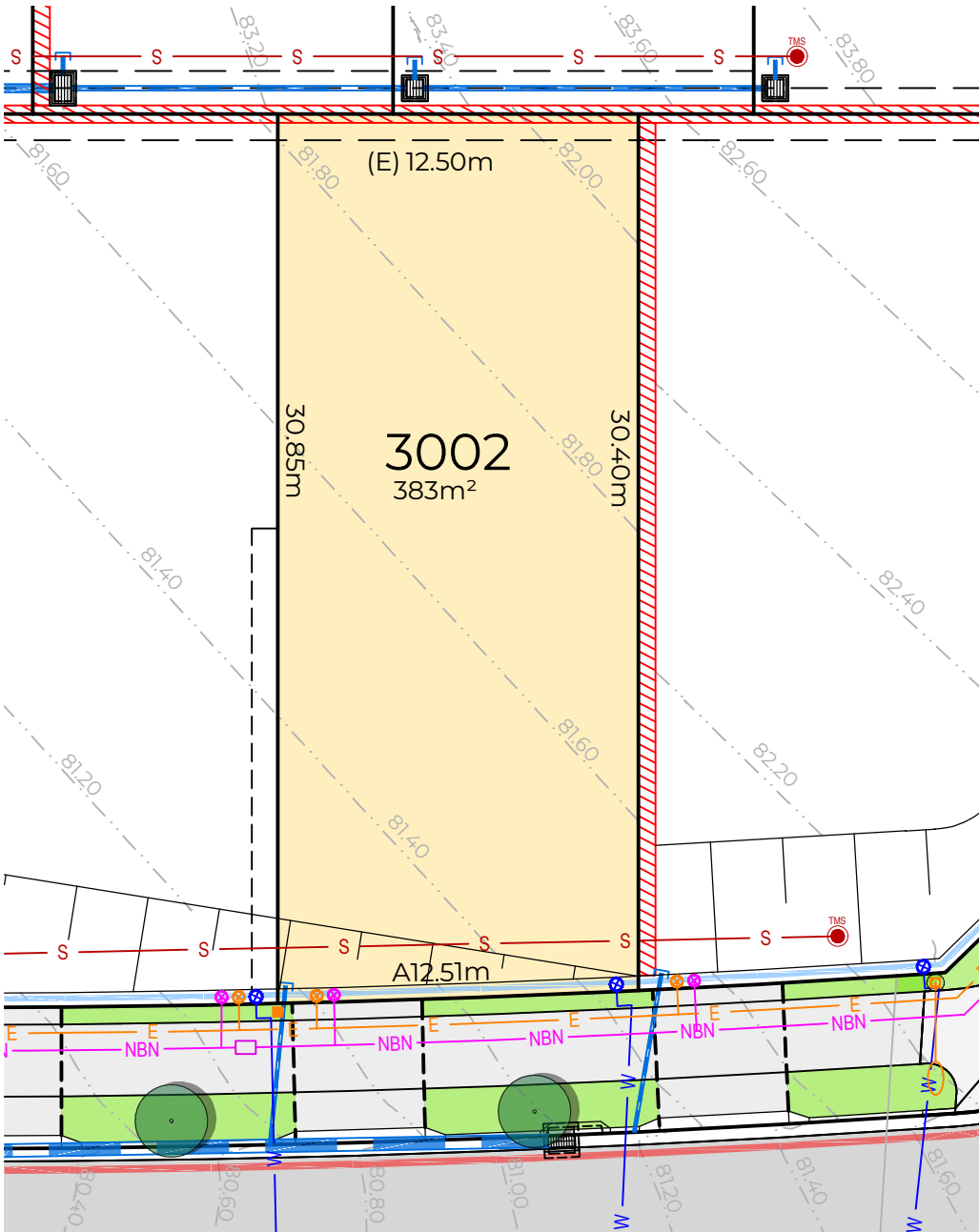
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Lot 3002
STAGE 03 | THE HILLTOP



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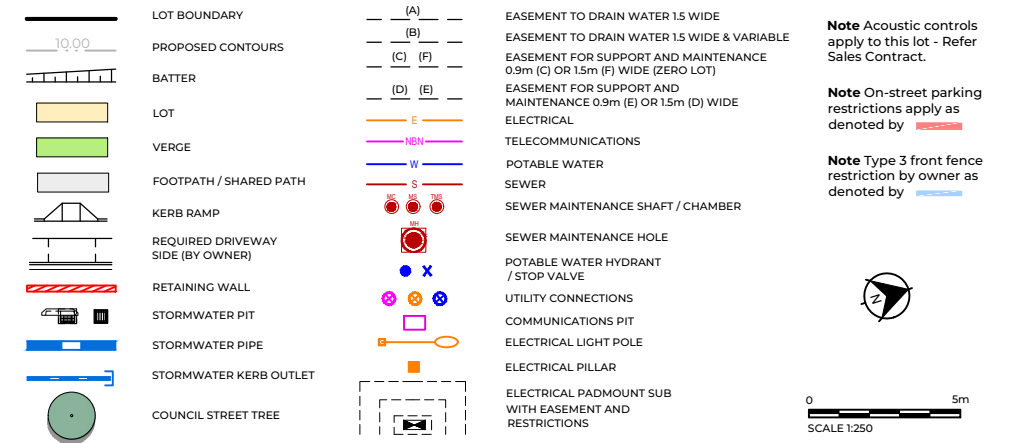
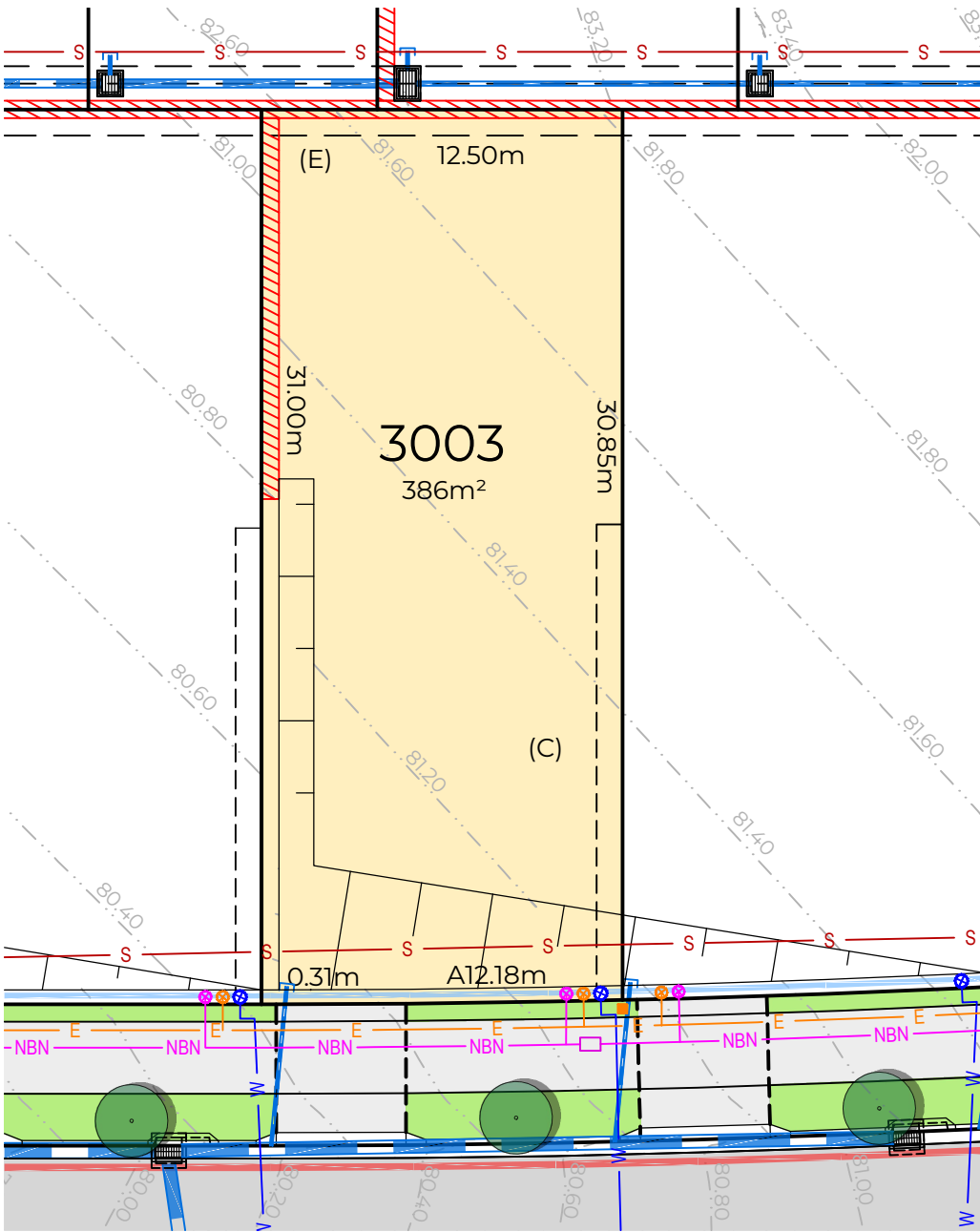
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Lot 3003
STAGE 03 | THE HILLTOP



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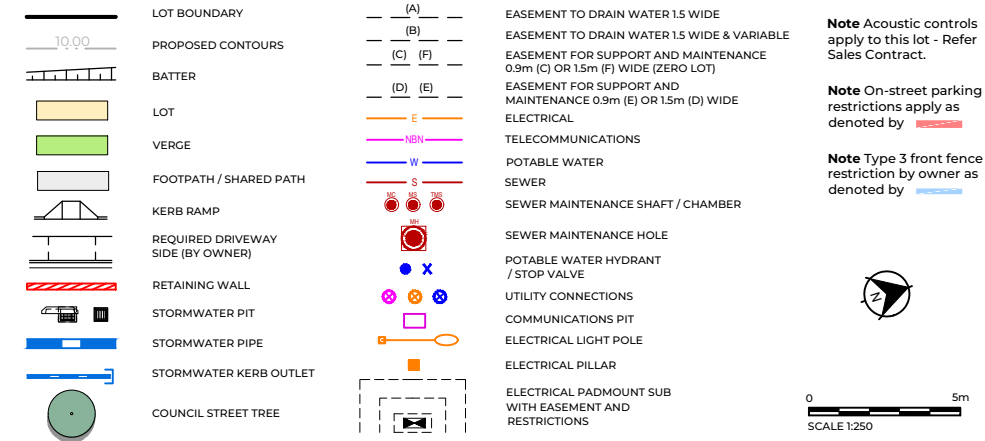
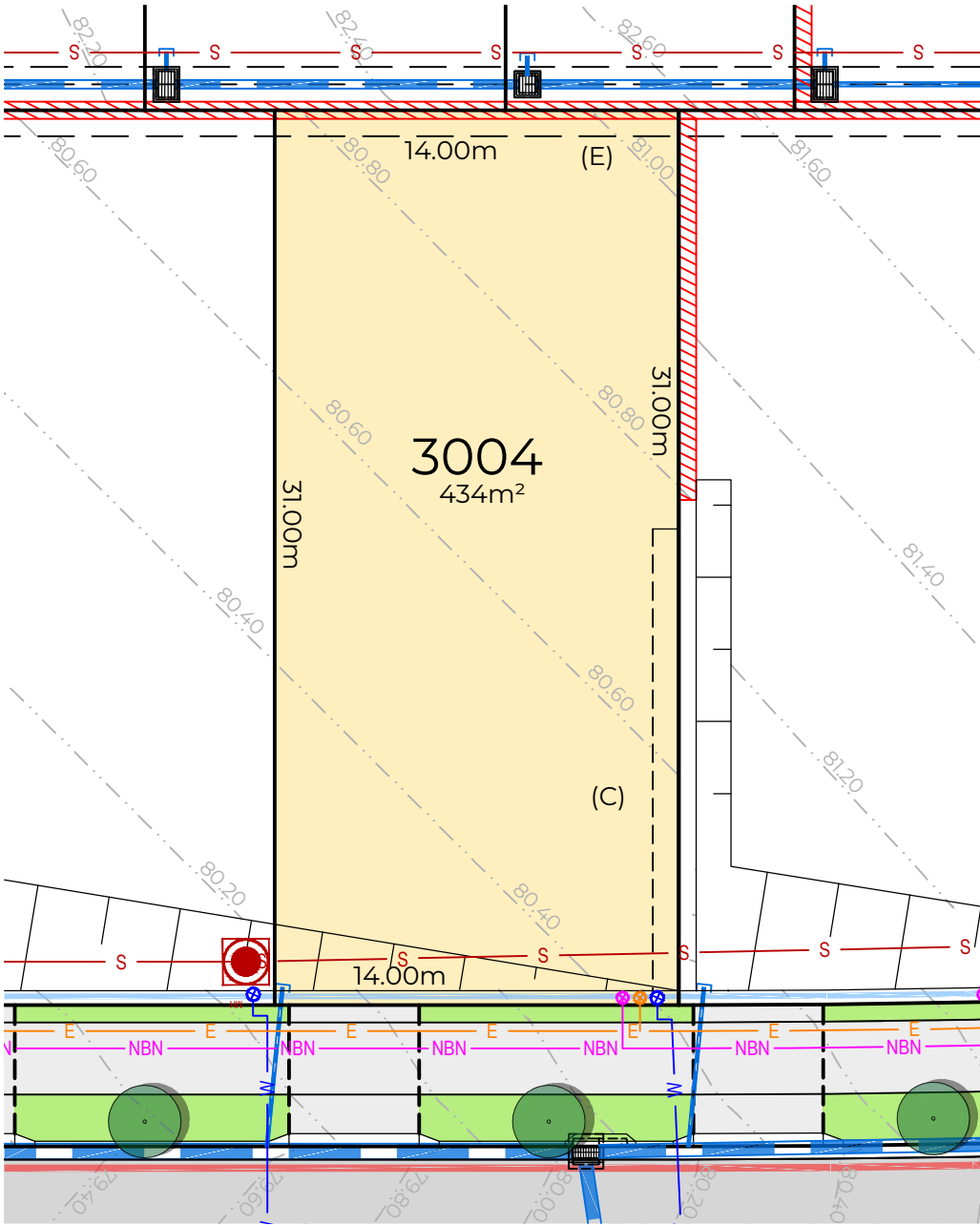
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Lot 3004
STAGE 03 | THE HILLTOP



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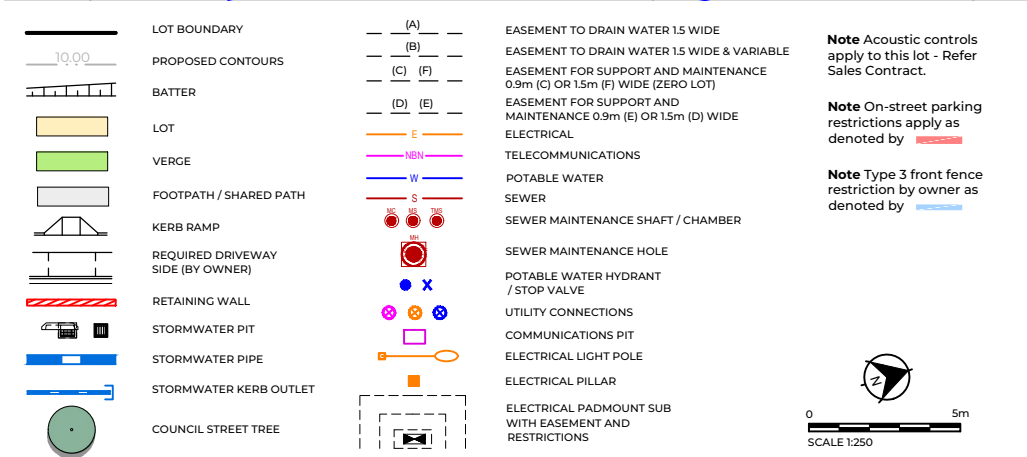
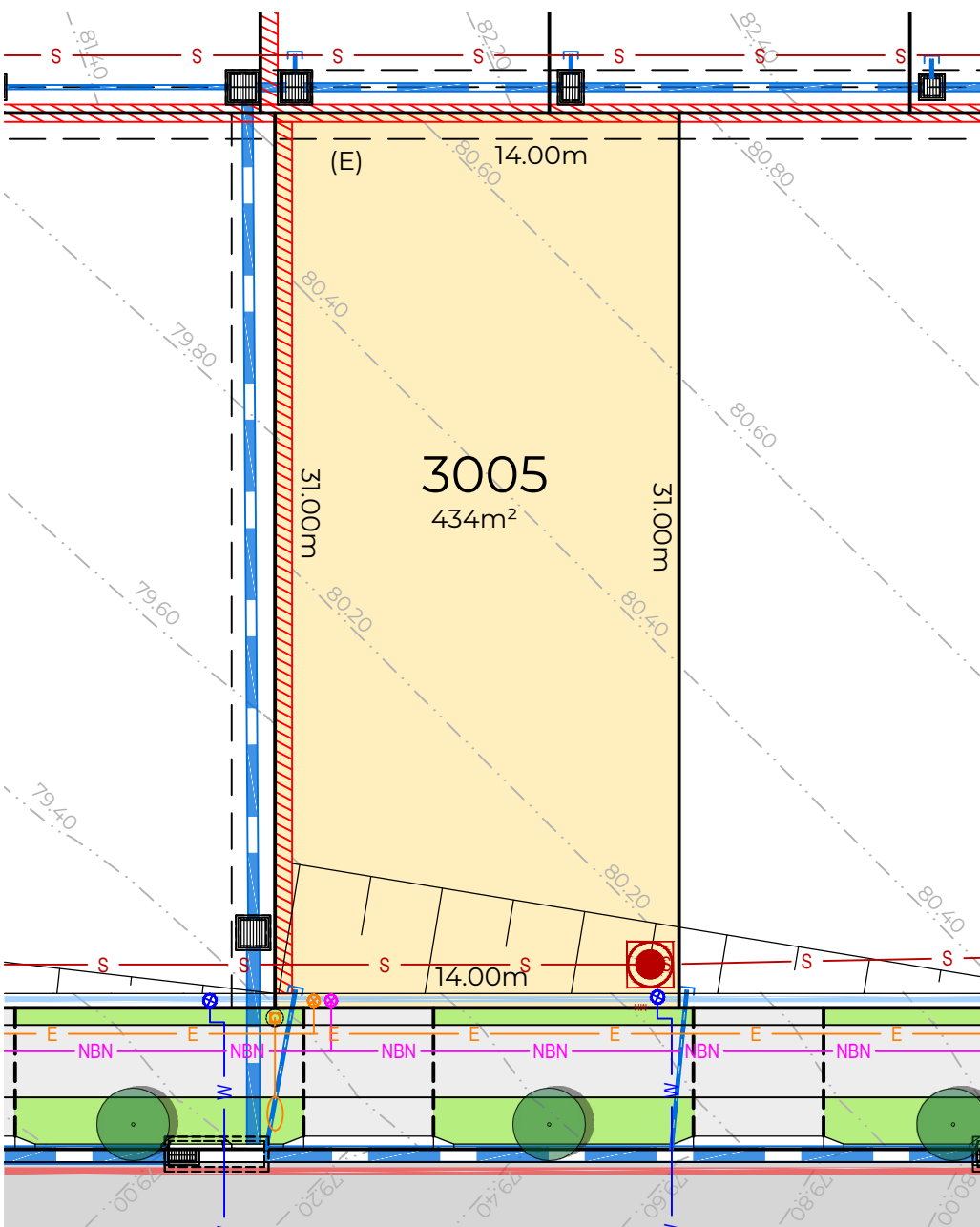
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Lot 3005
STAGE 03 | THE HILLTOP



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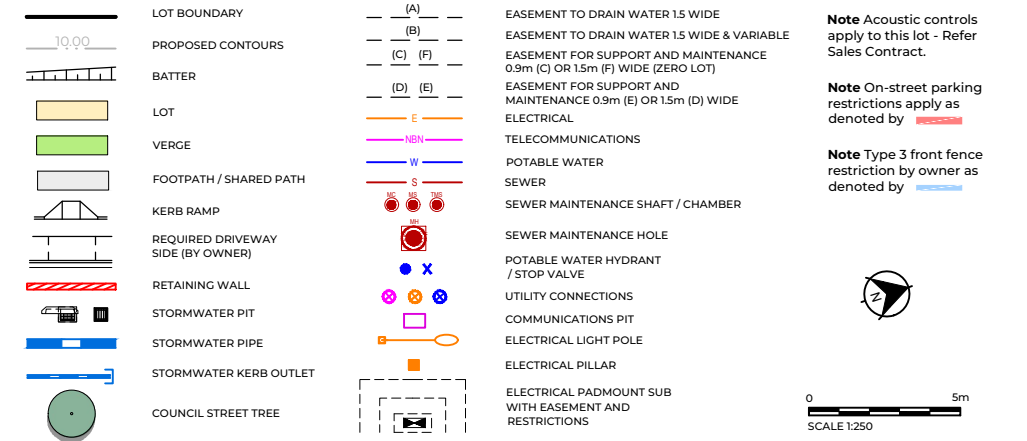
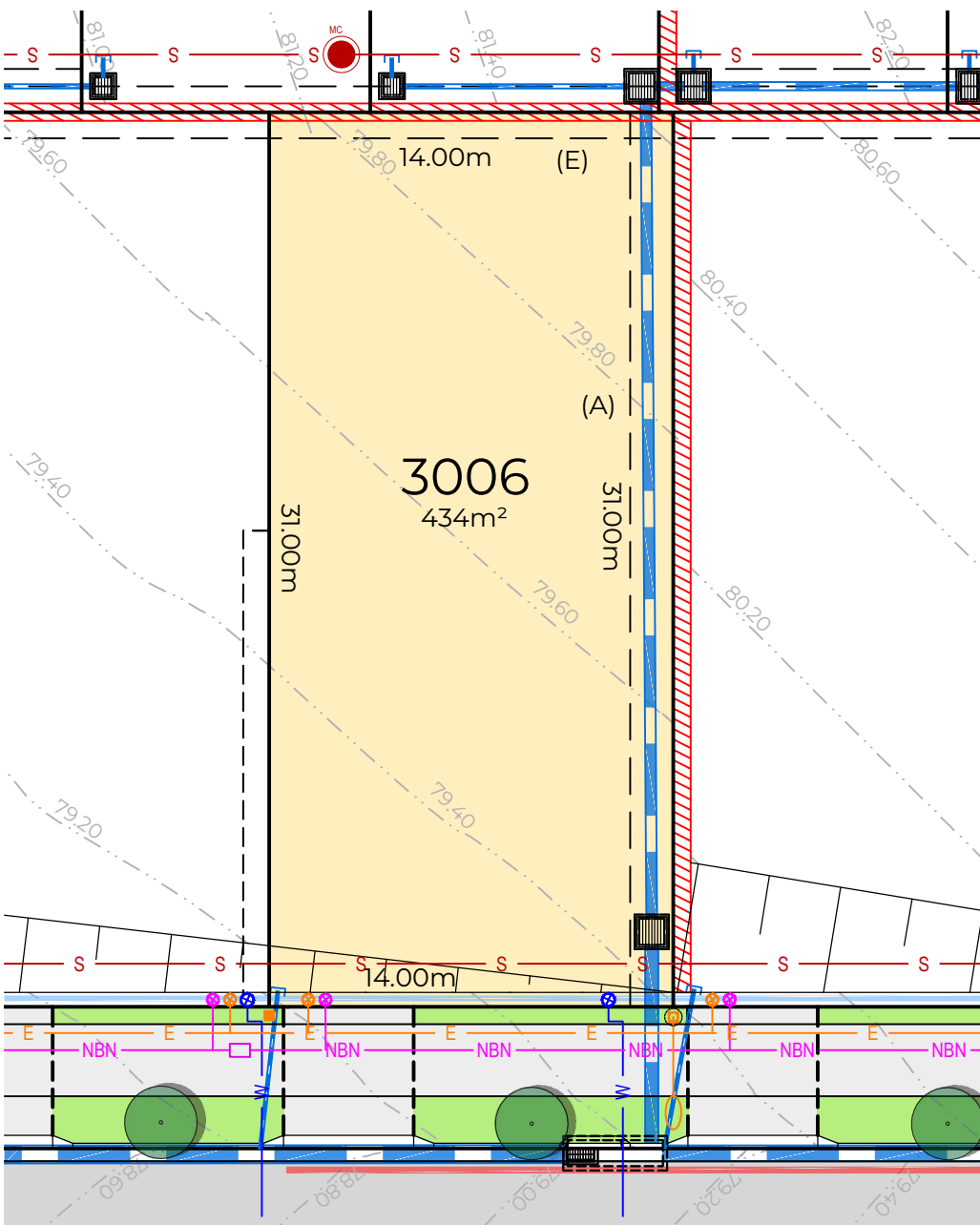
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Lot 3006
STAGE 03 | THE HILLTOP



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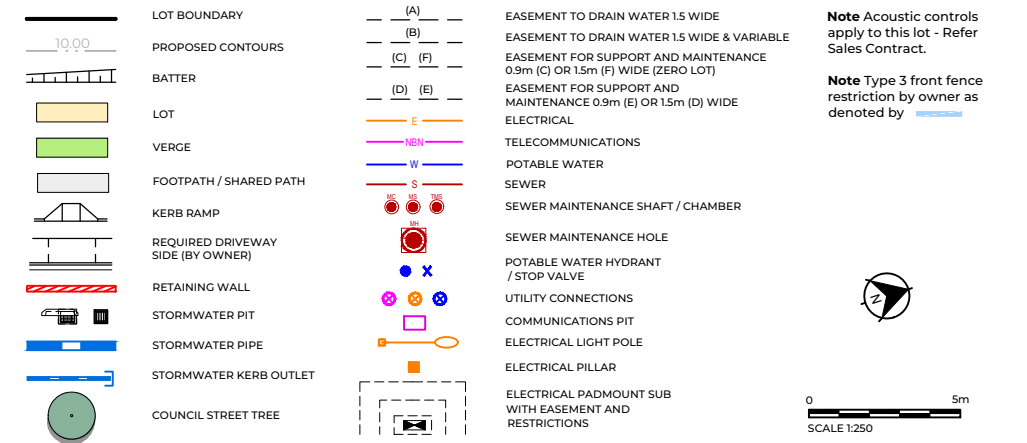
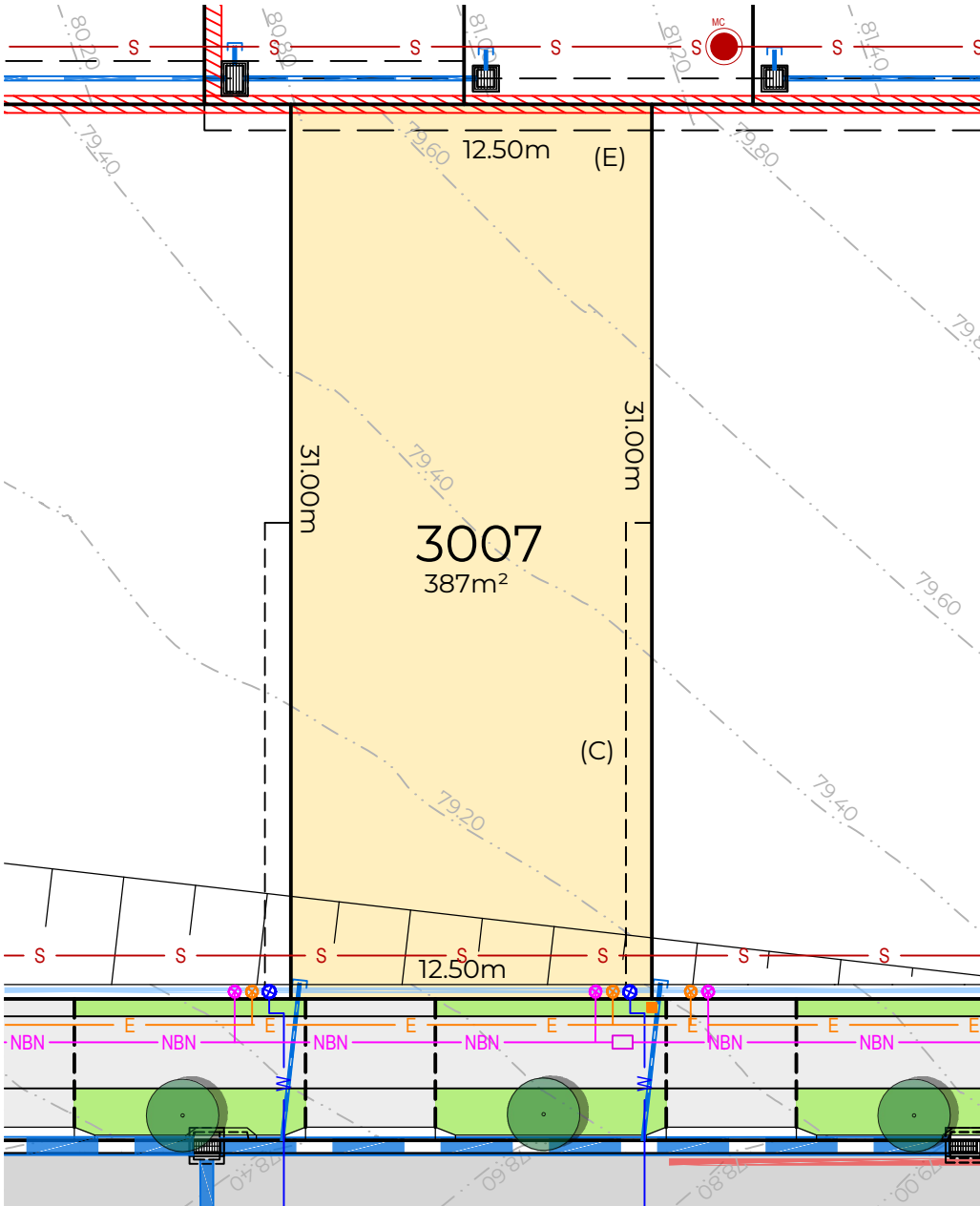
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Lot 3007
STAGE 03 | THE HILLTOP



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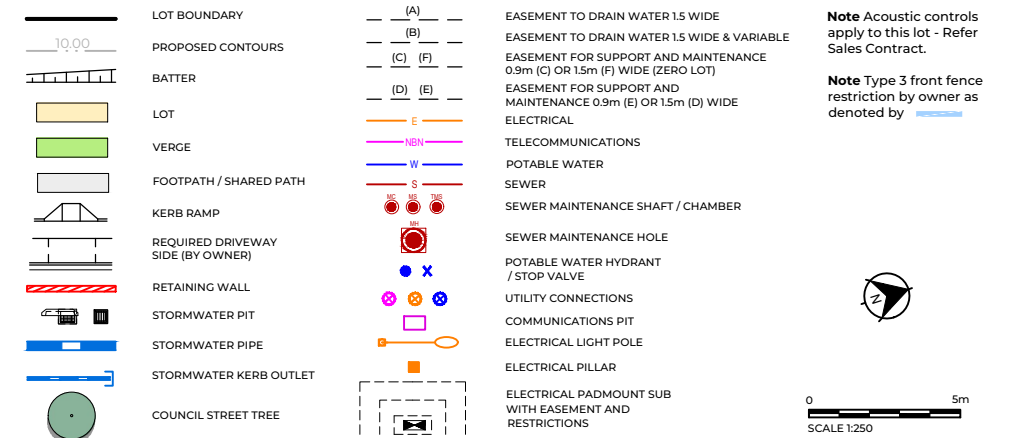
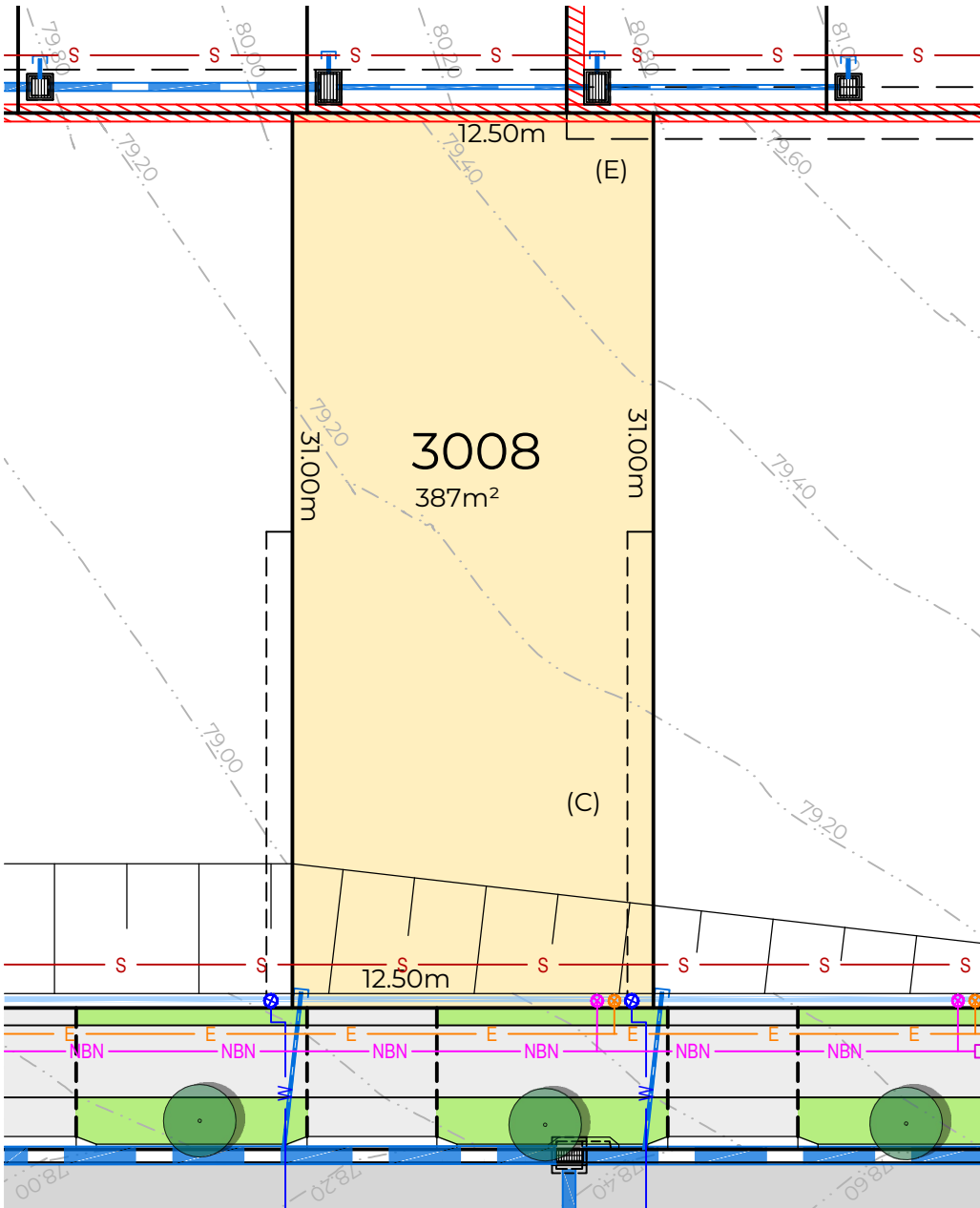
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Lot 3008
STAGE 03 | THE HILLTOP



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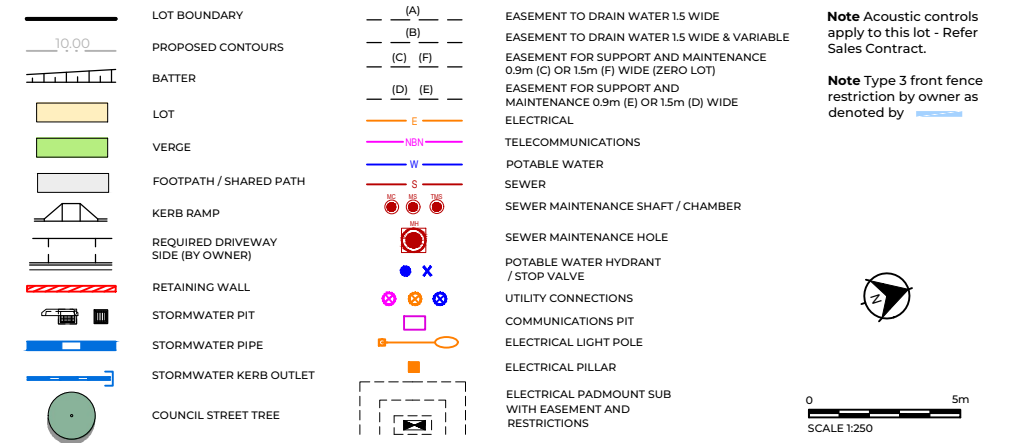
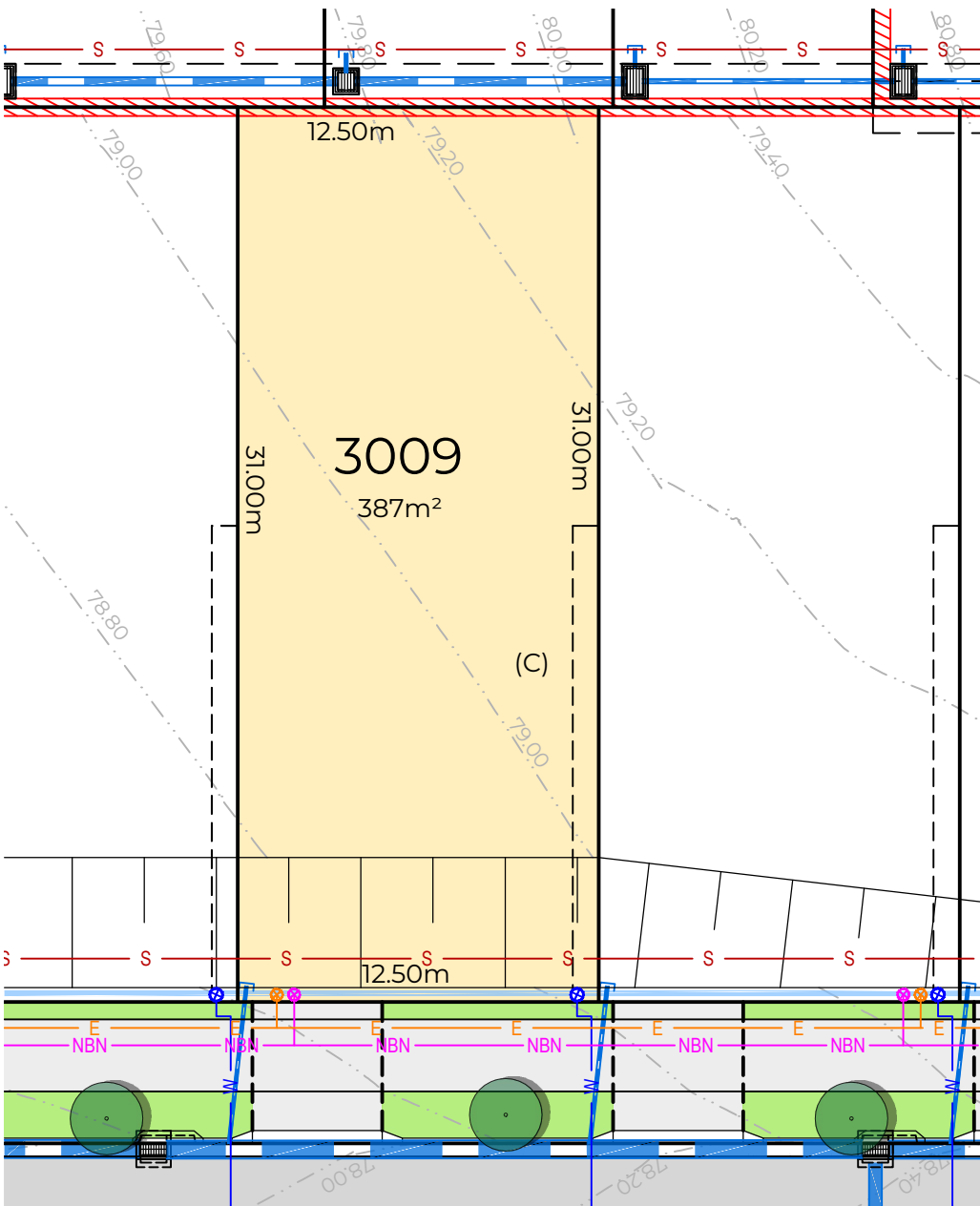
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Lot 3009
STAGE 03 | THE HILLTOP



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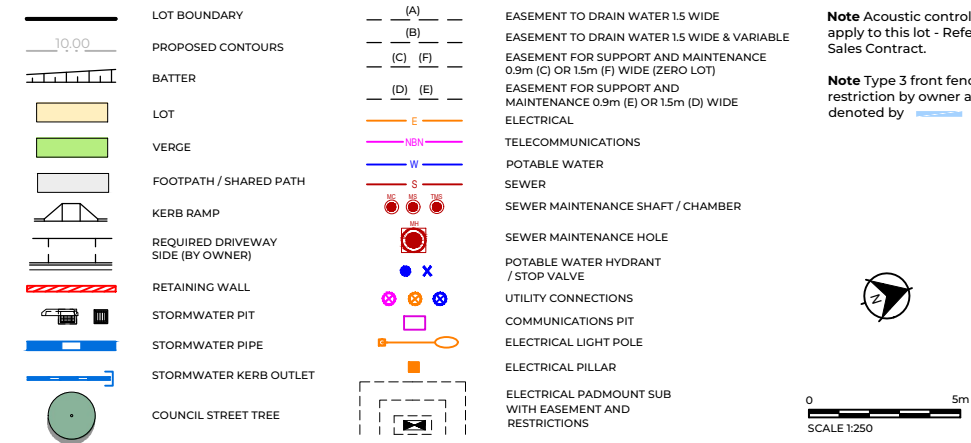
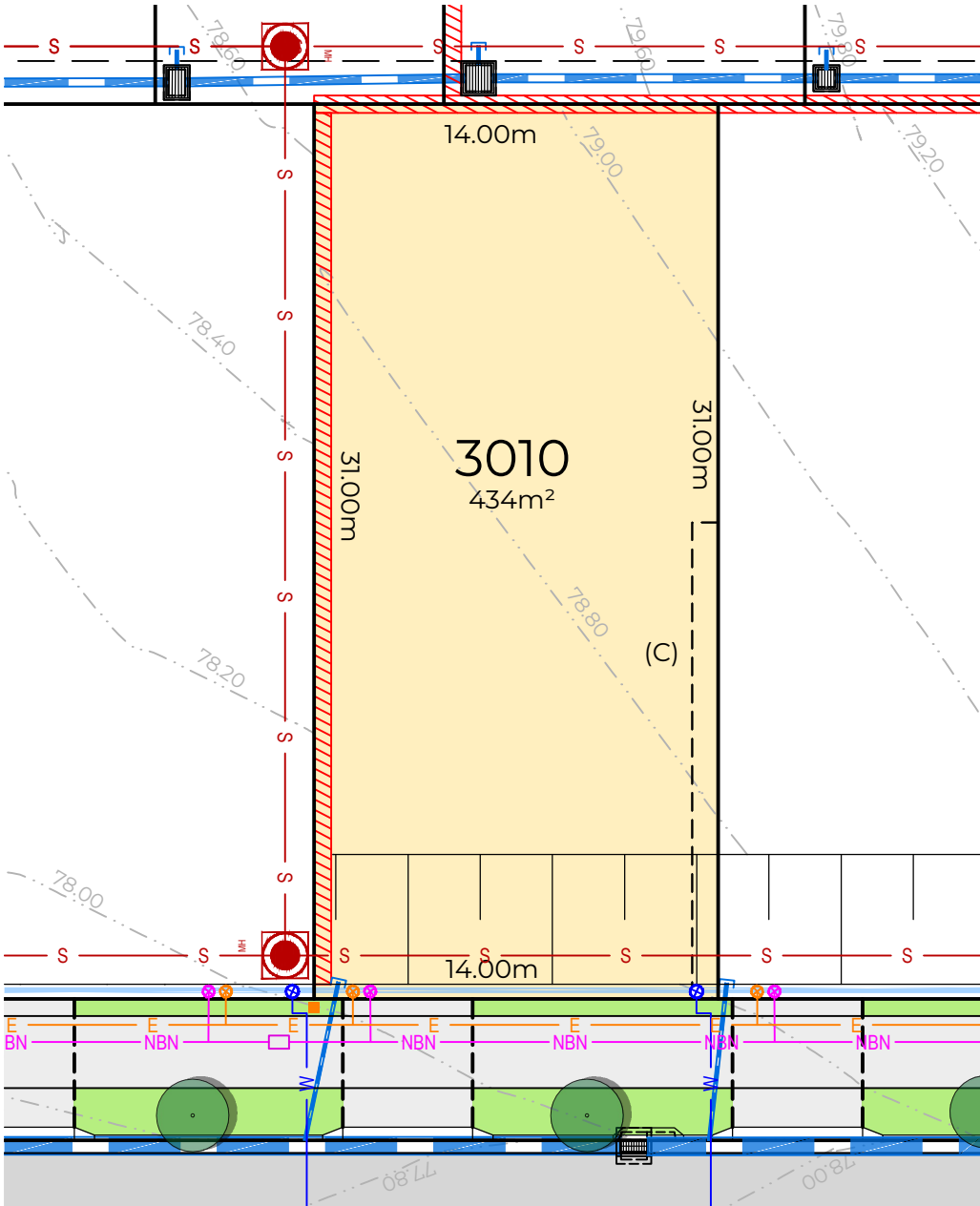
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Lot 3010
STAGE 03 | THE HILLTOP



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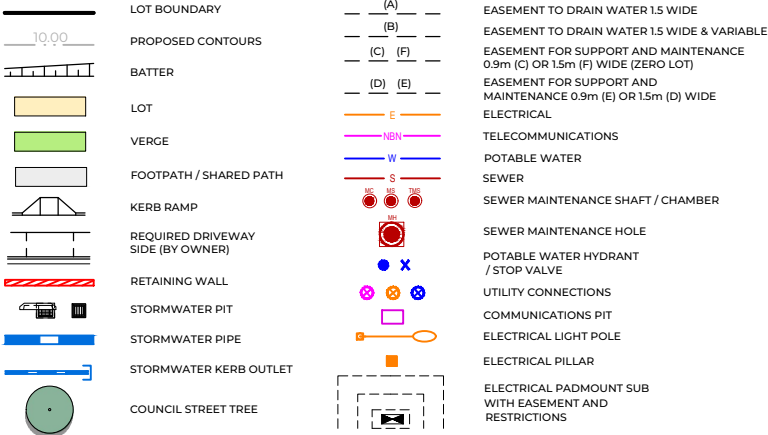
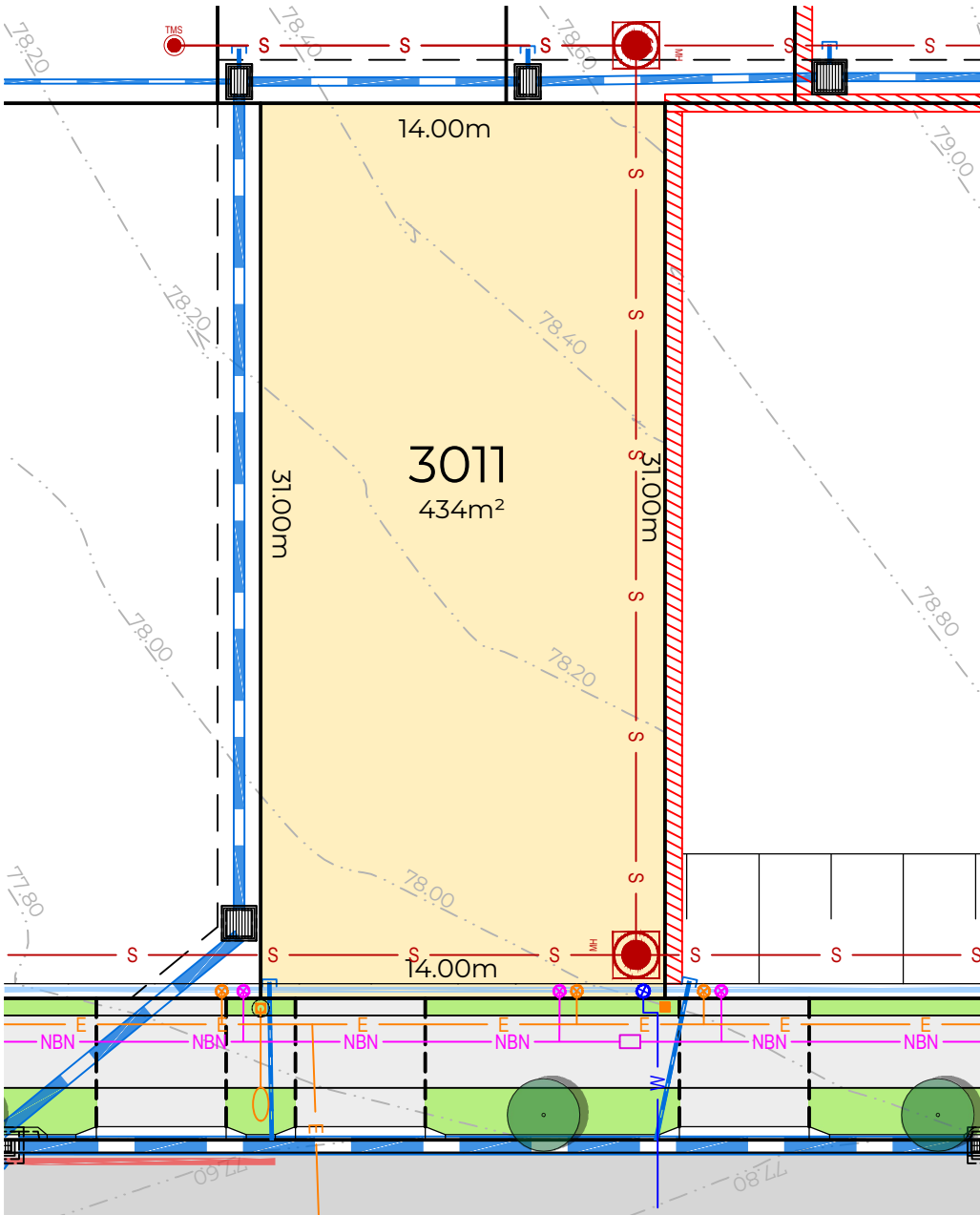
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Lot 3011
STAGE 03 | THE HILLTOP



Note Acoustic controls apply to this lot - Refer Sales Contract.

Note Type 3 front fence restriction by owner as denoted by

Note On-street parking restrictions apply as denoted by



0 5m
SCALE 1:250



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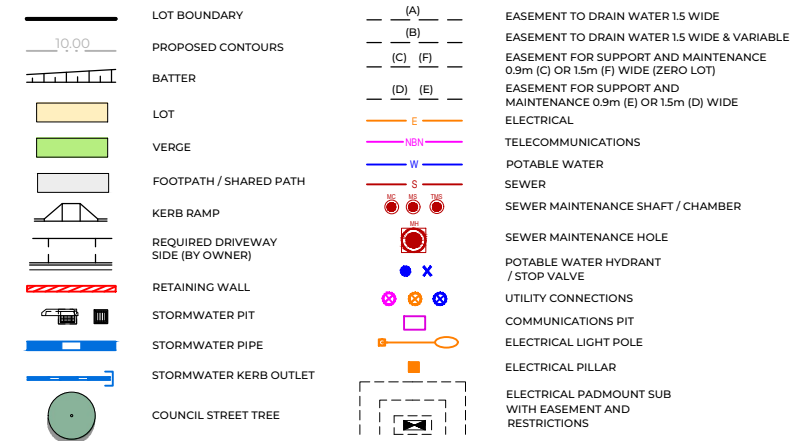
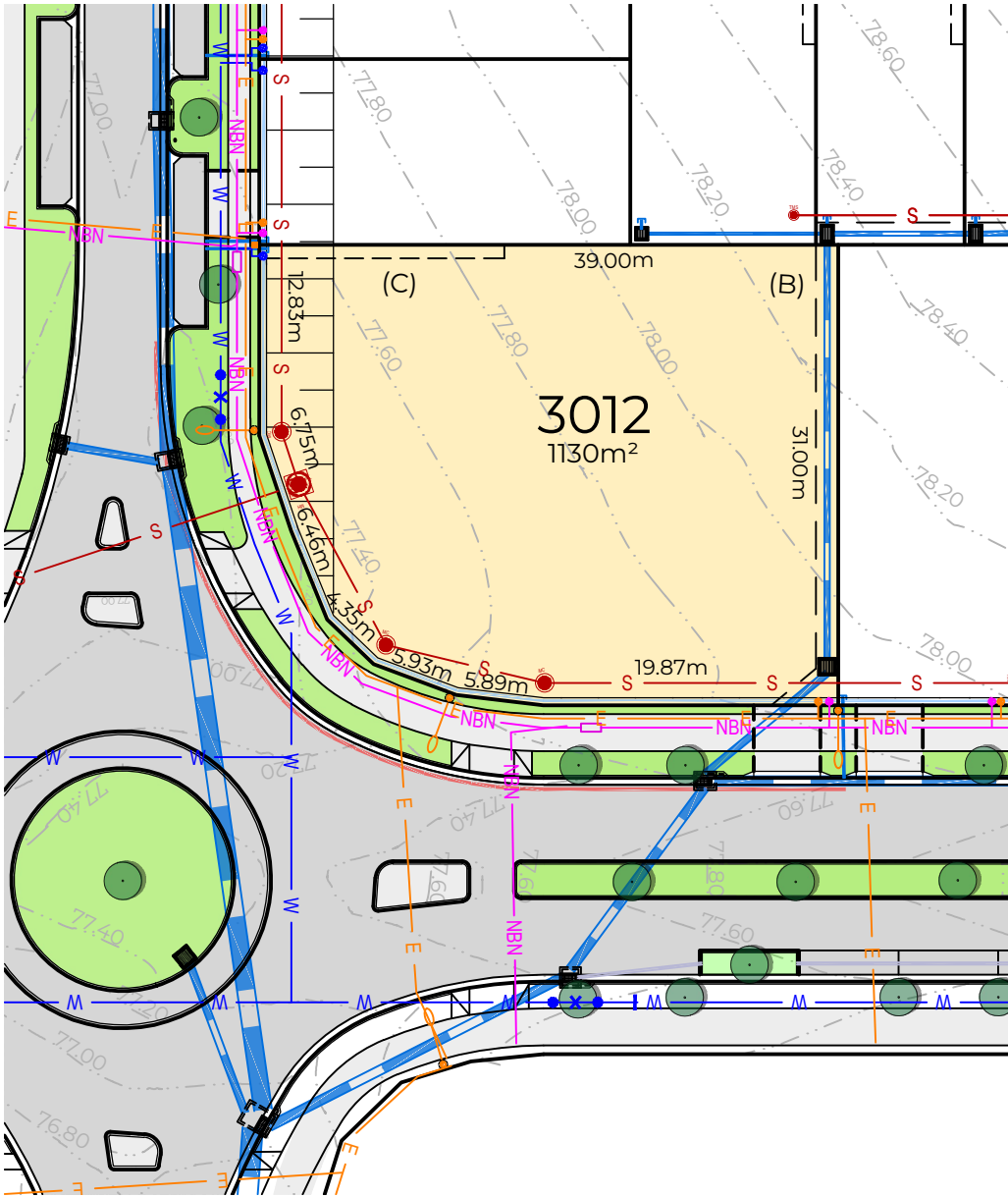
SALES CENTRE

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Lot 3012
STAGE 03 | THE HILLTOP



Note Acoustic controls apply to this lot - Refer Sales Contract.

Note Type 3 front fence restriction by owner as denoted by

Note On-street parking restrictions apply as denoted by



0 10m
SCALE 1:500



BIRLING

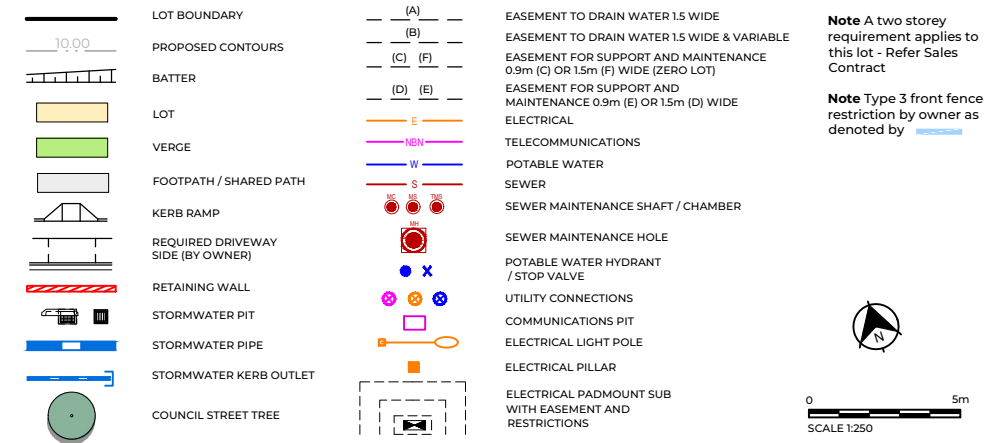
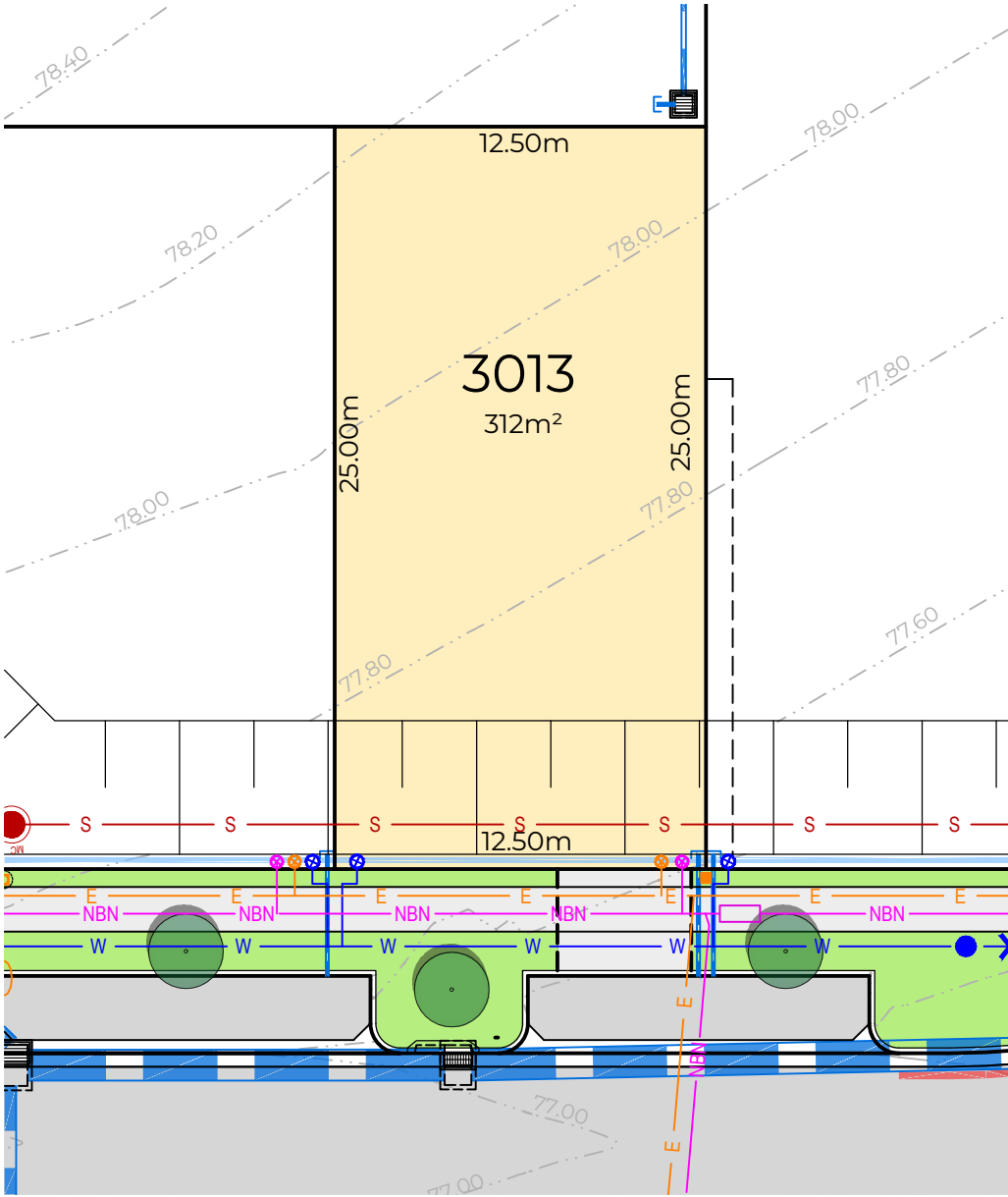
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Lot 3013
STAGE 03 | THE HILLTOP



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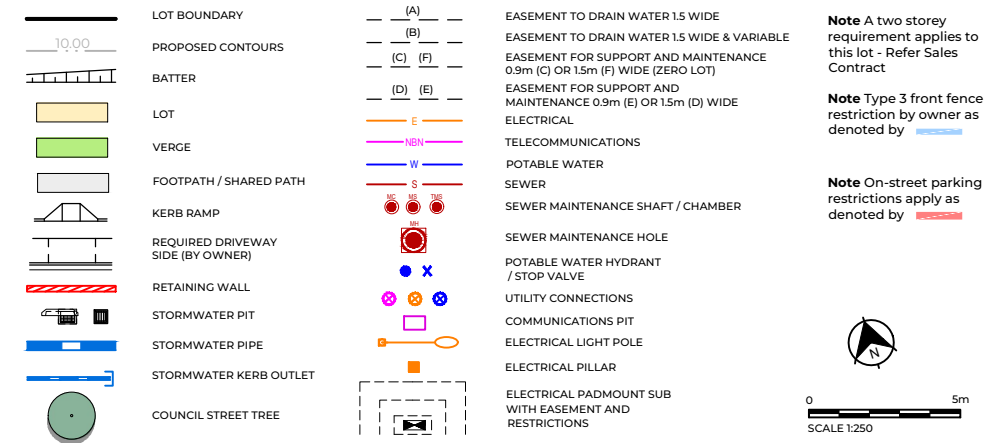
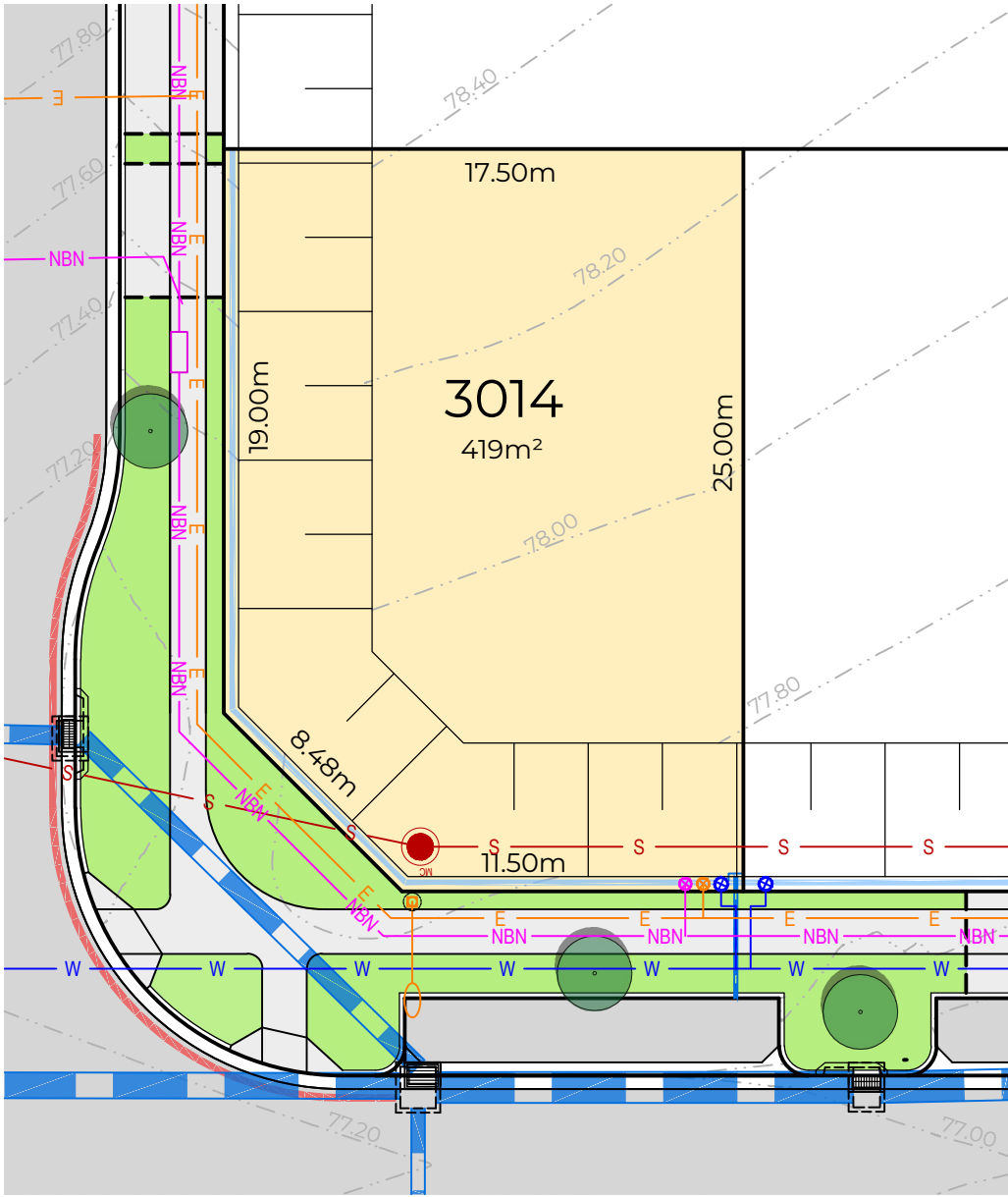
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Lot 3014
STAGE 03 | THE HILLTOP



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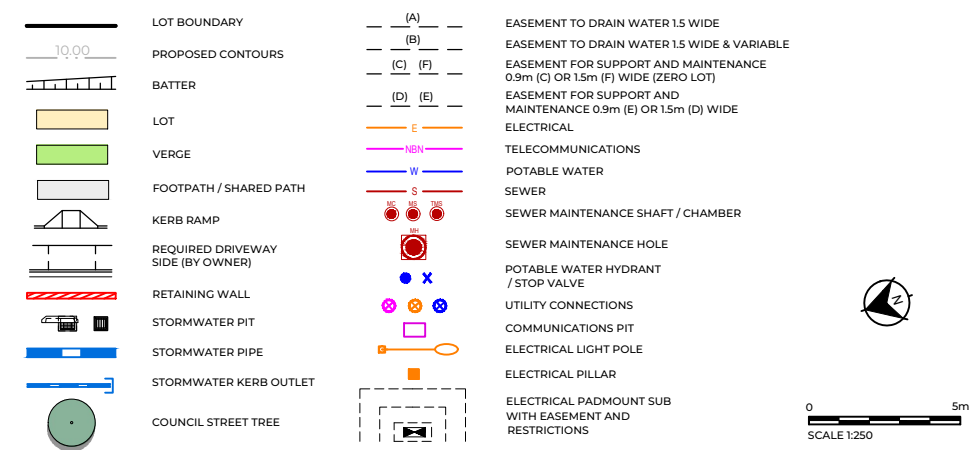
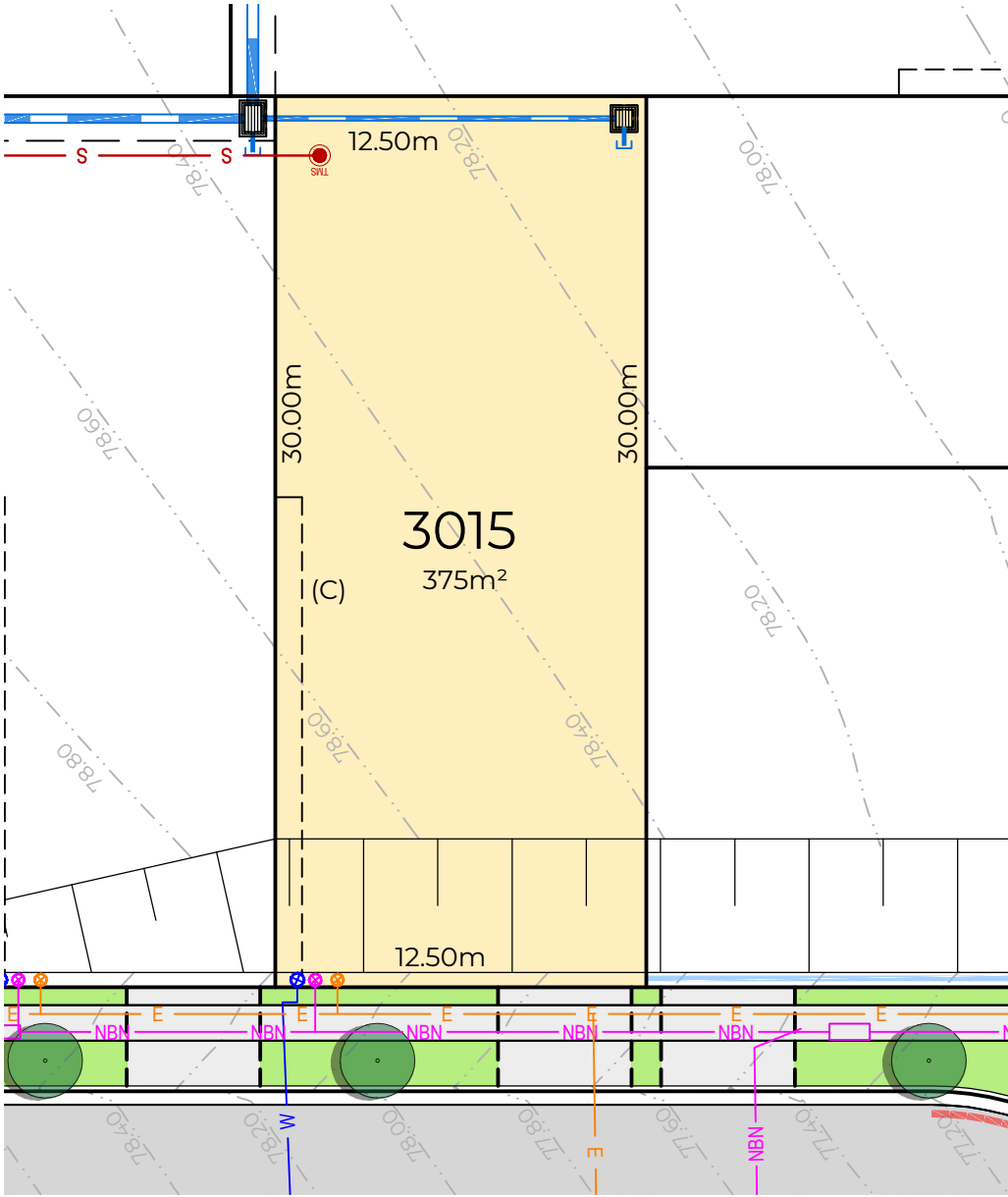
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Lot 3015
STAGE 03 | THE HILLTOP



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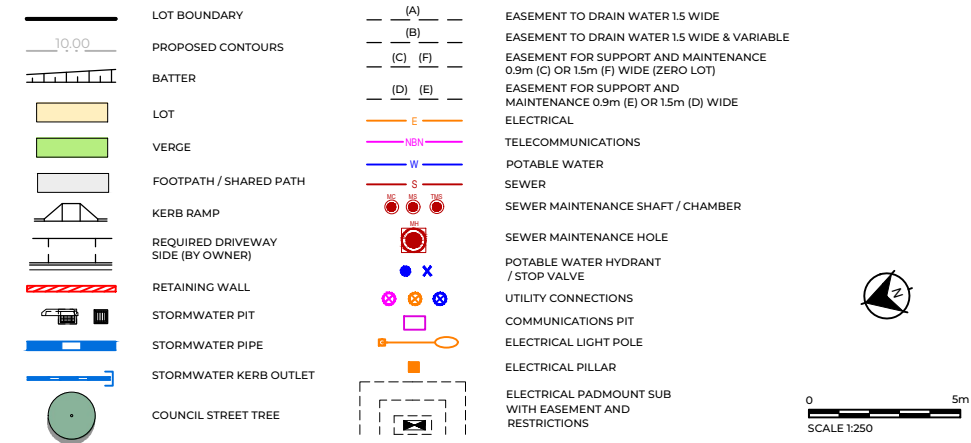
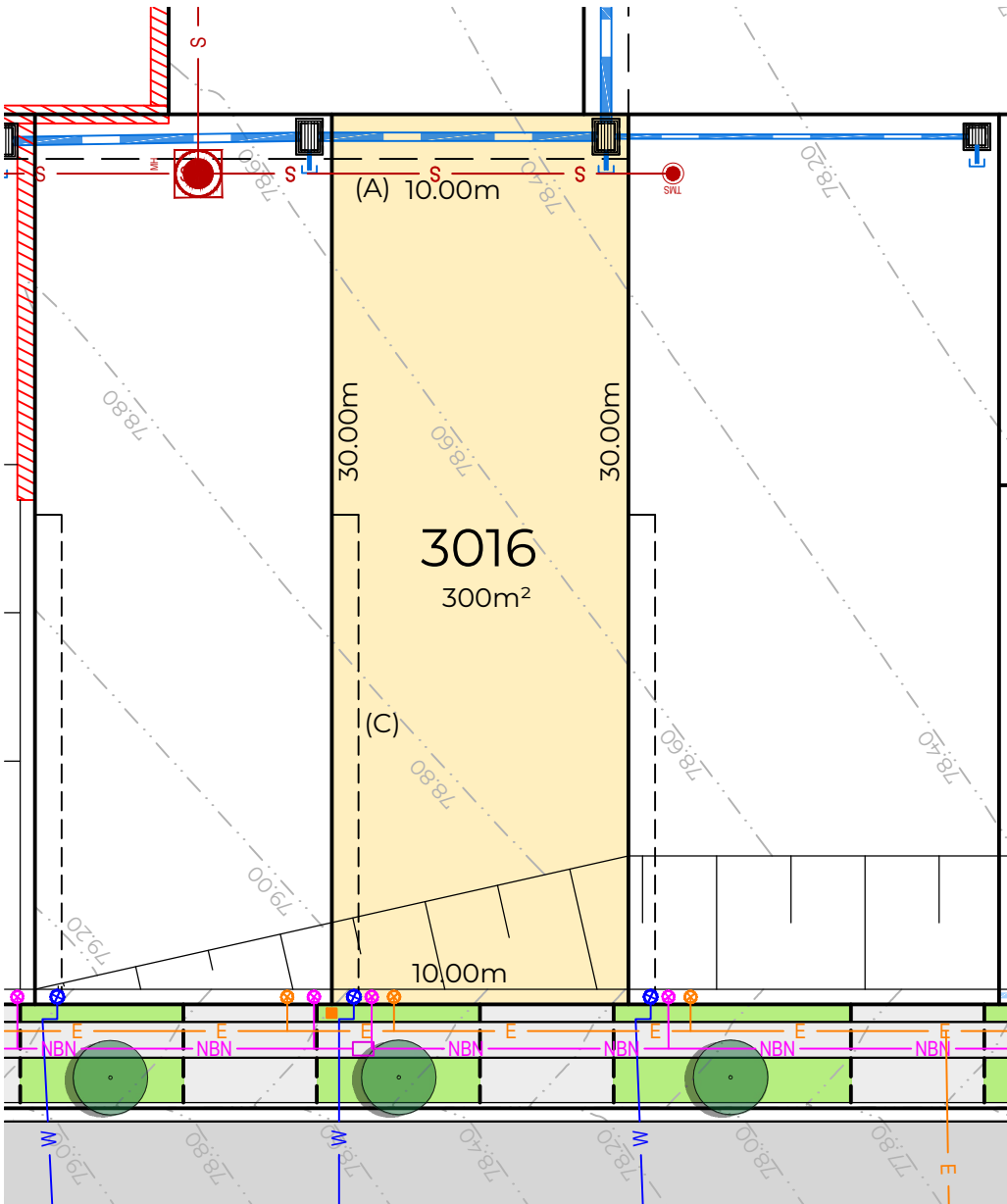
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Lot 3016
STAGE 03 | THE HILLTOP



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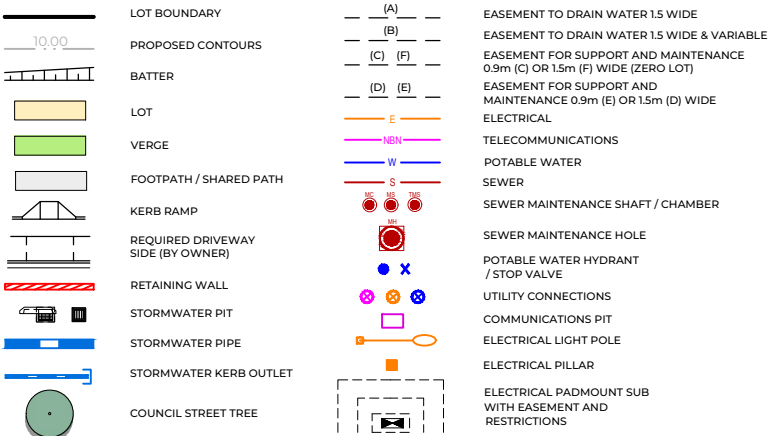
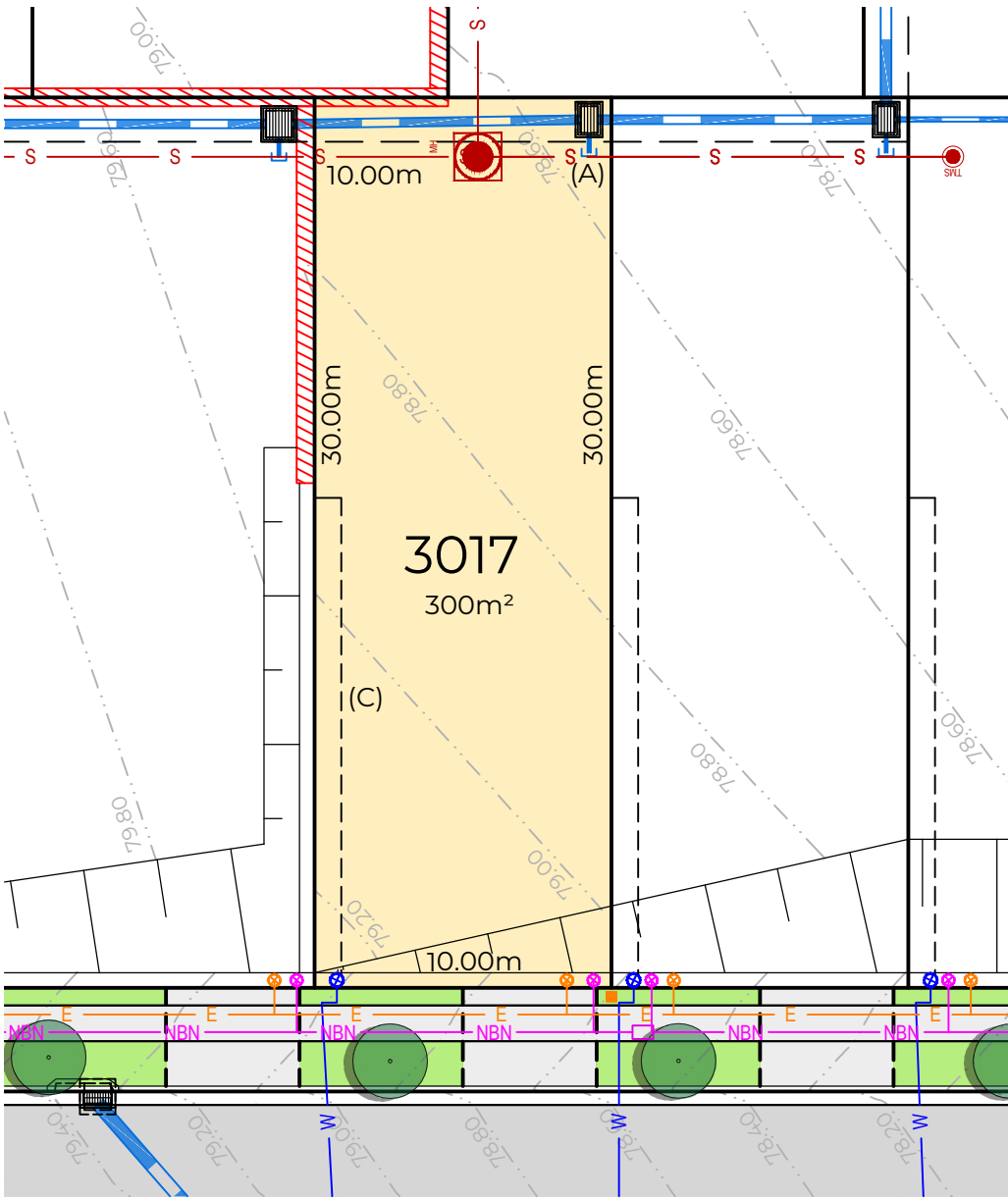
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Lot 3017

STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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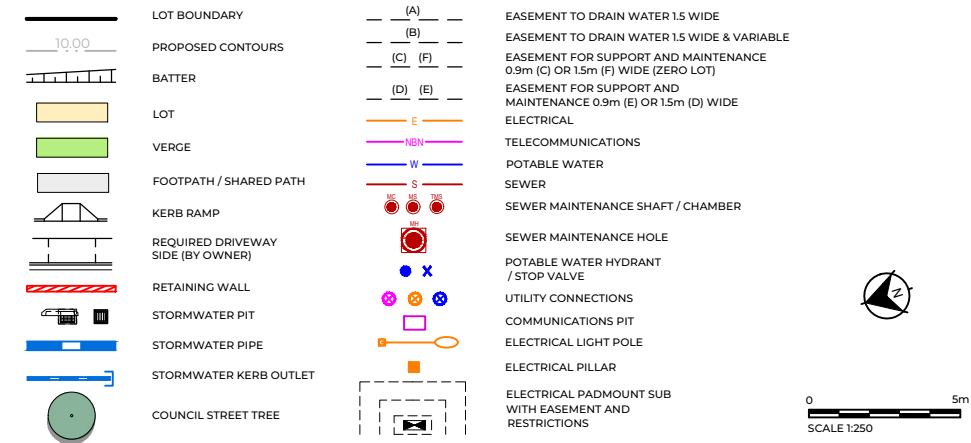
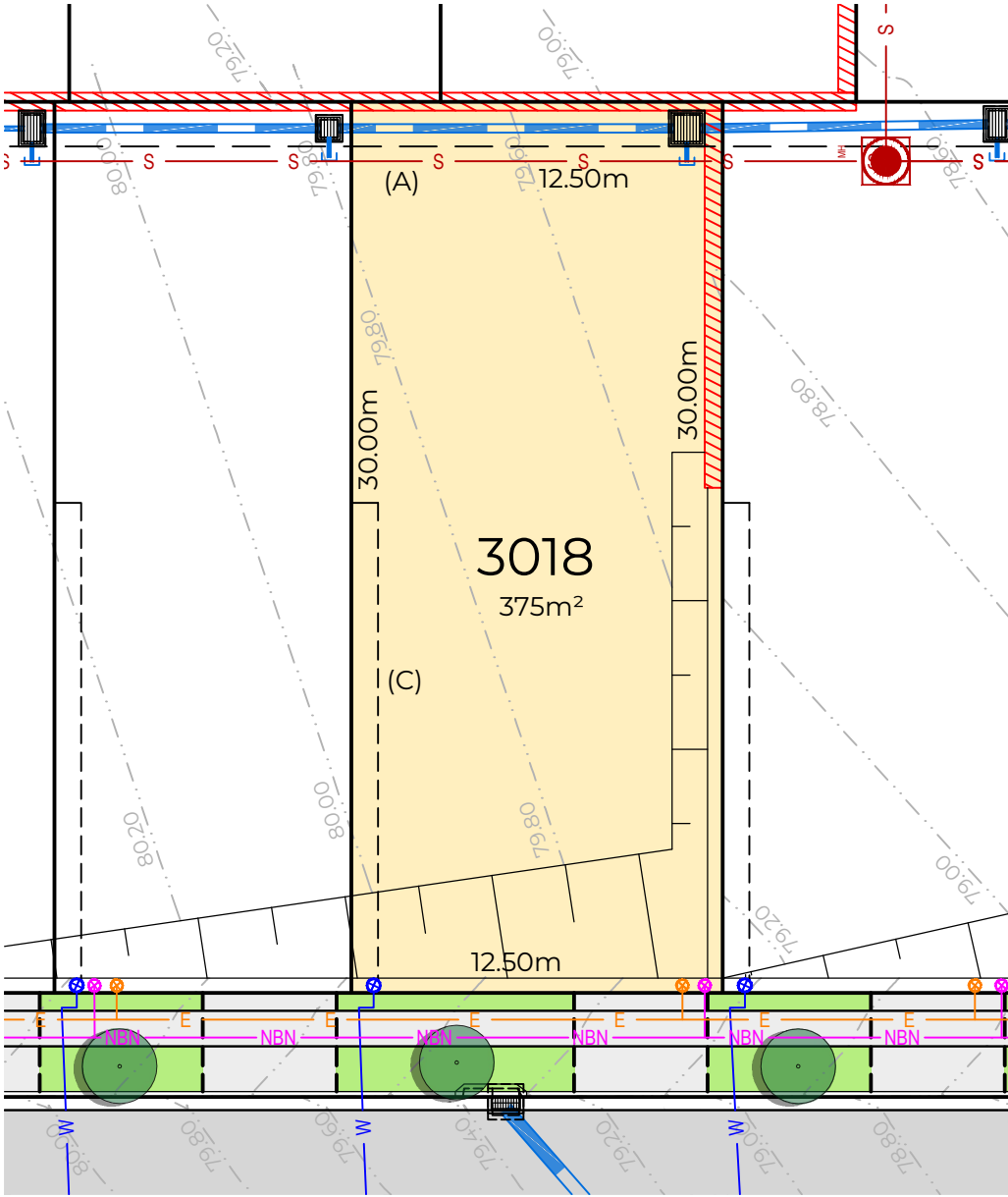
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Cameron Brae
GROUP

Lot 3018
STAGE 03 | THE HILLTOP



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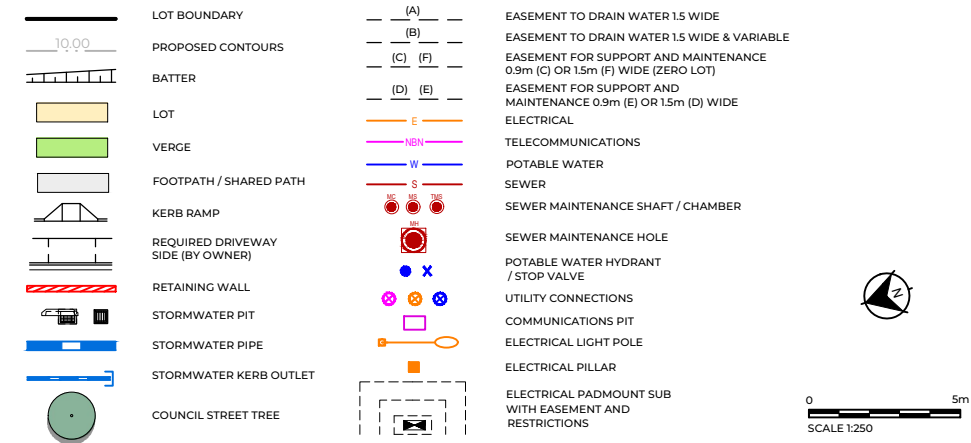
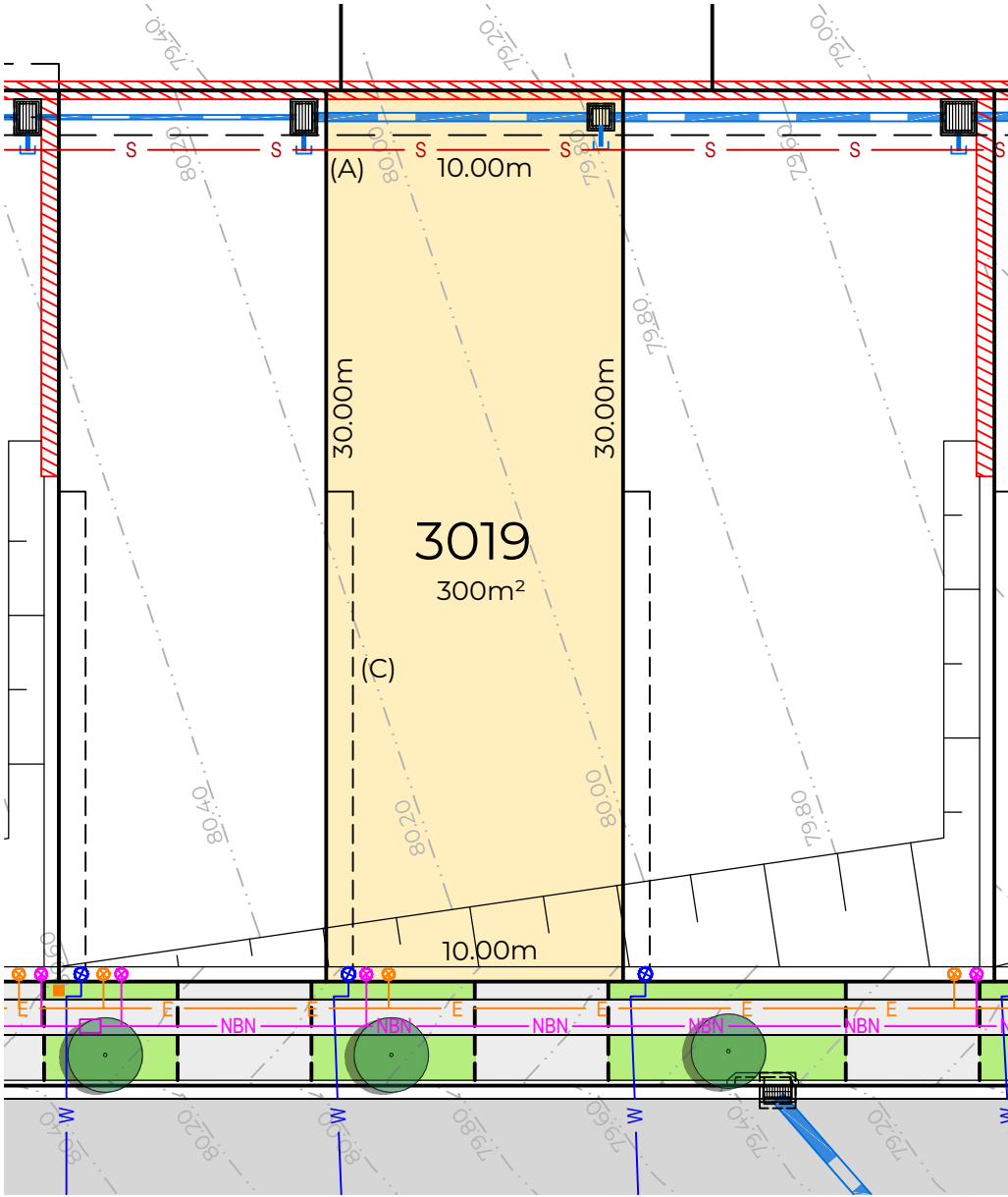
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STAGE 03 | THE HILLTOP



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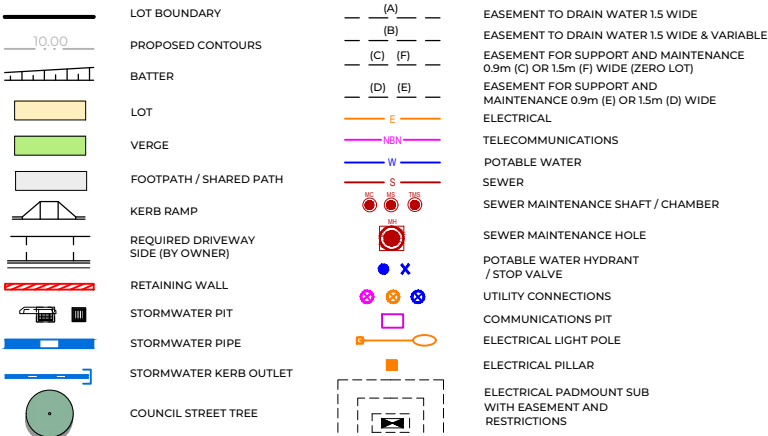
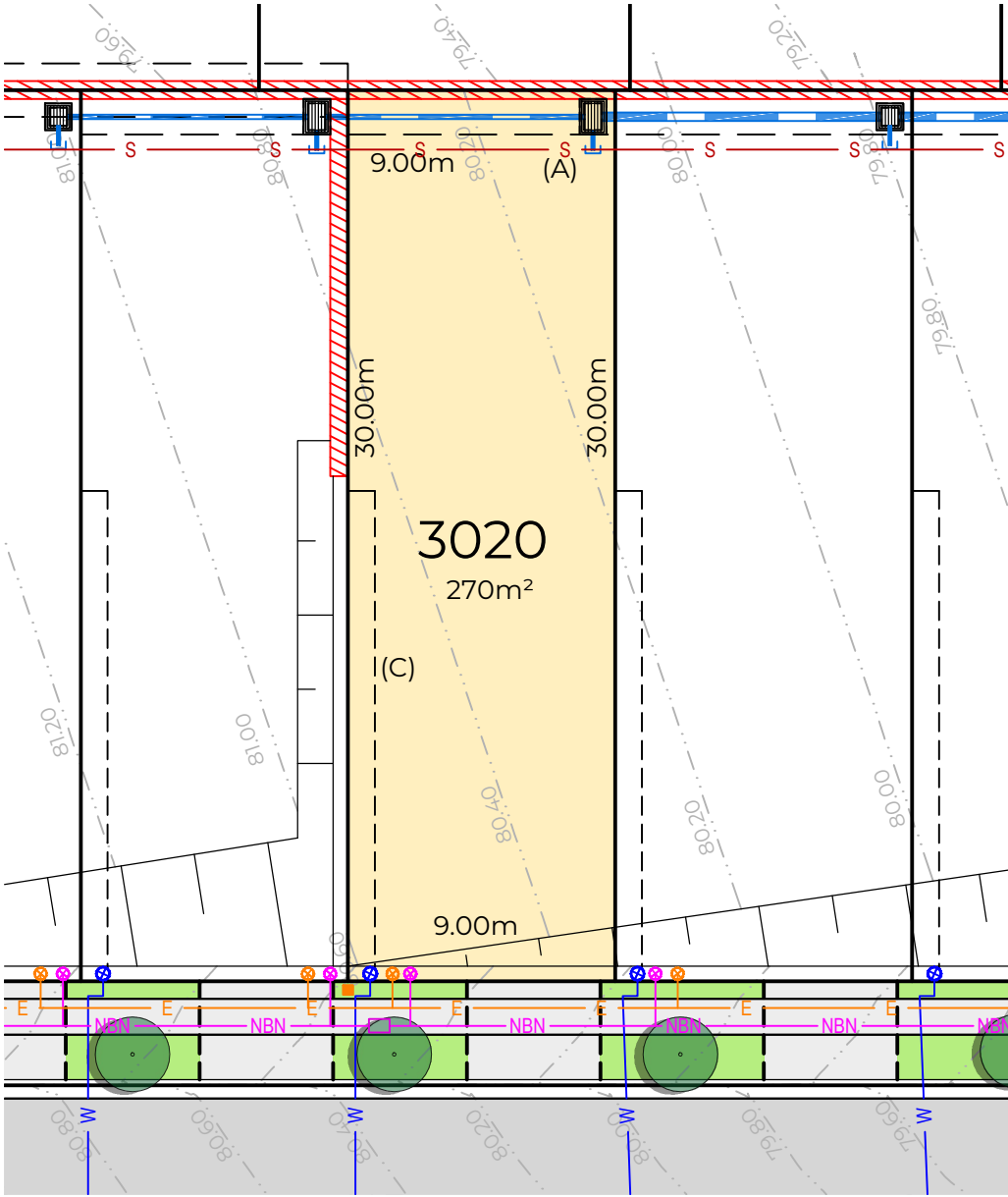
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SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3020
STAGE 03 | THE HILLTOP



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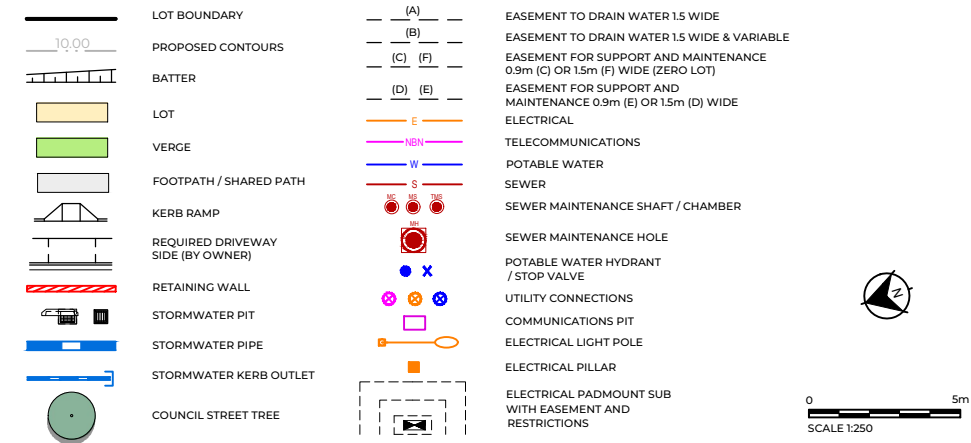
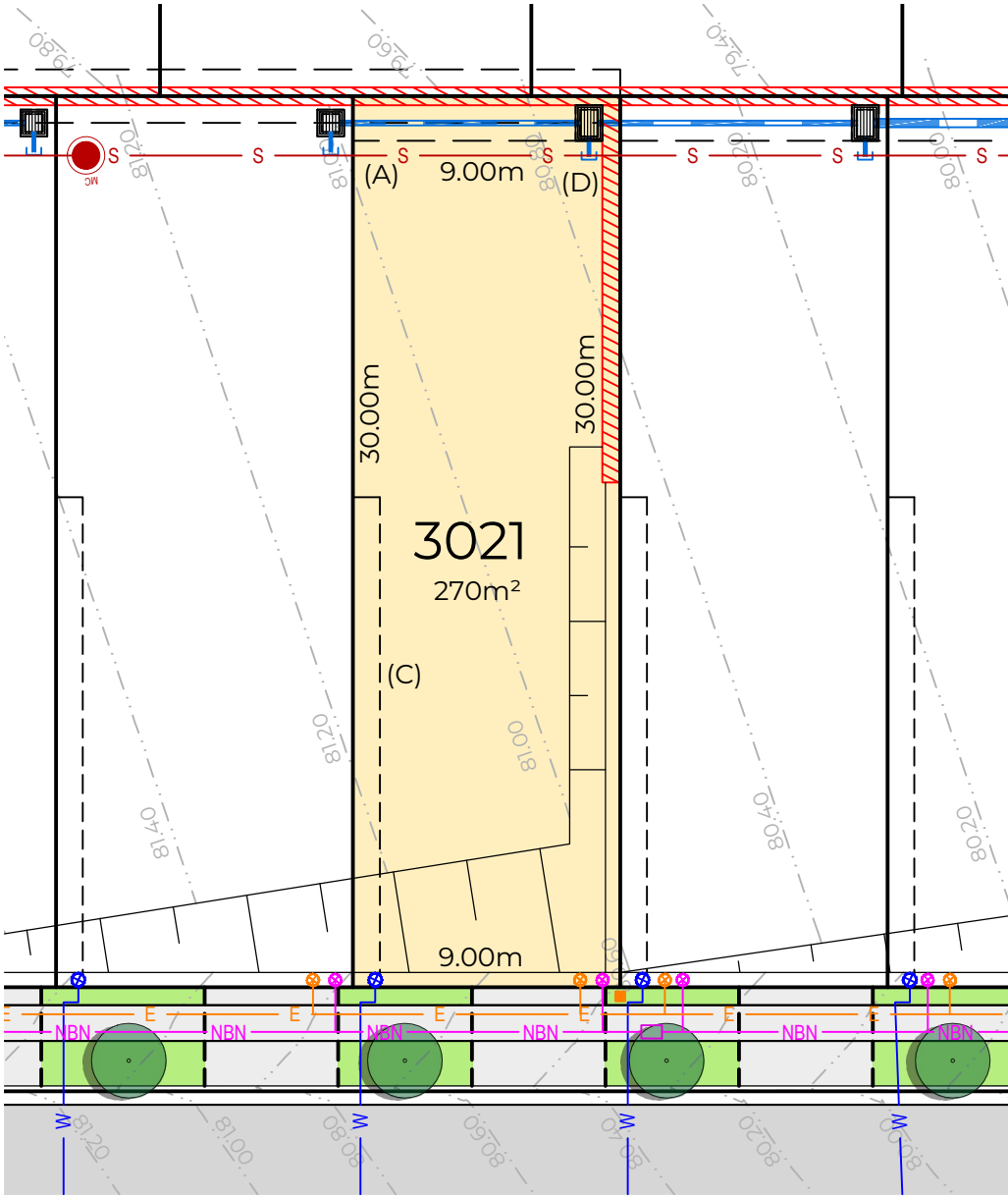
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Lot 3021
STAGE 03 | THE HILLTOP



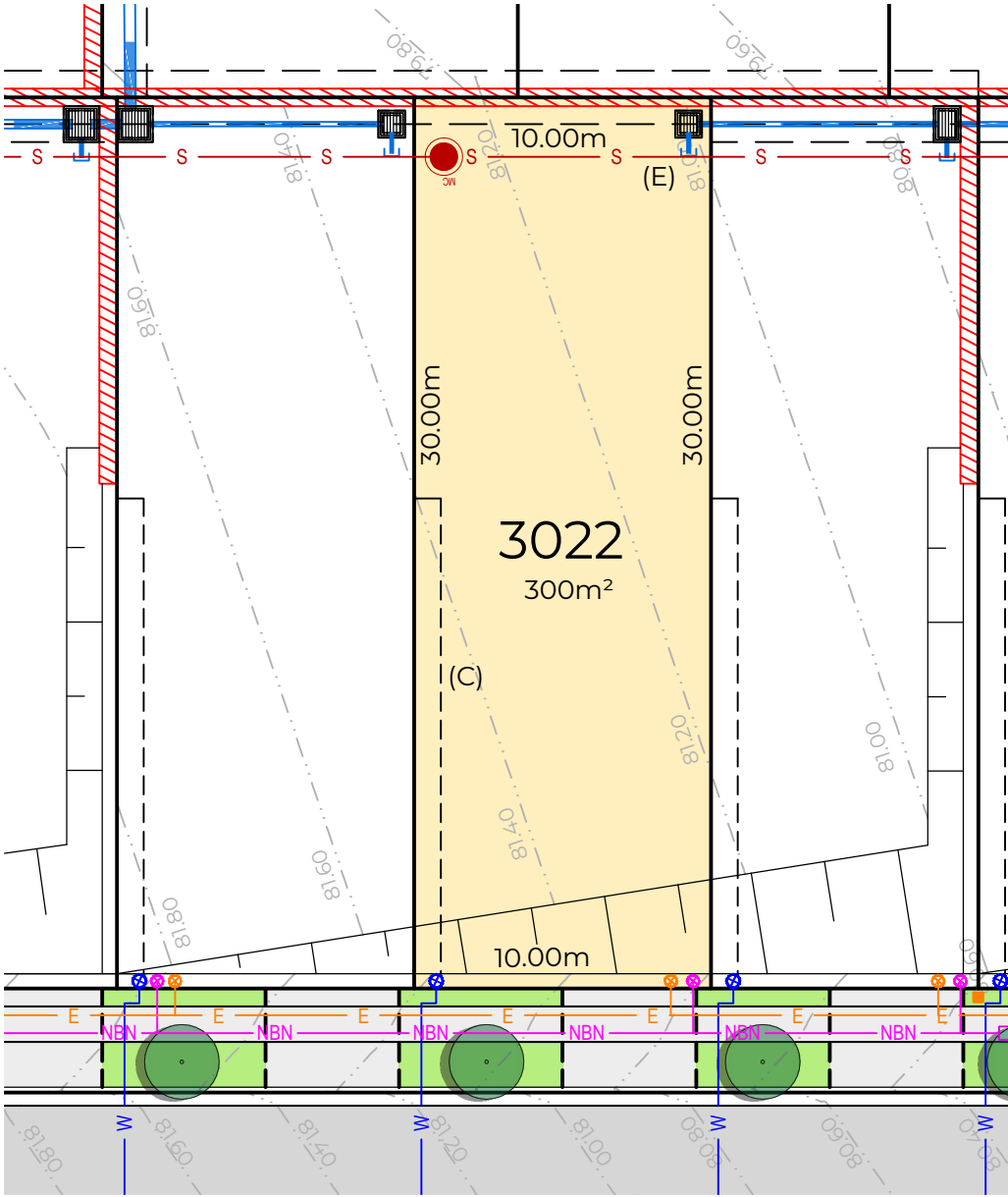
BIRLING

Lot Plan

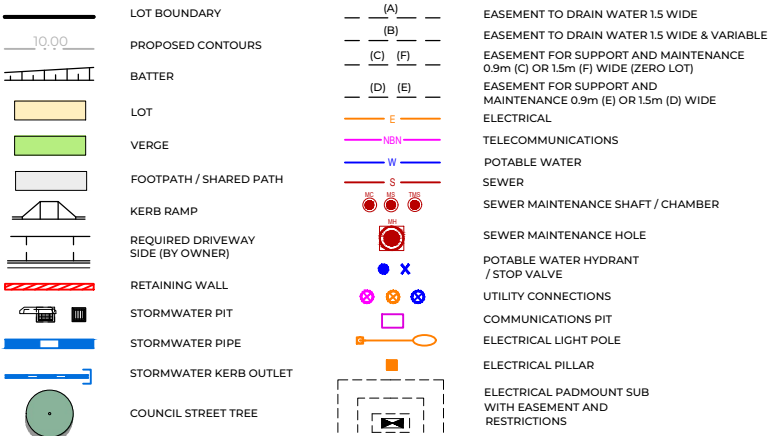
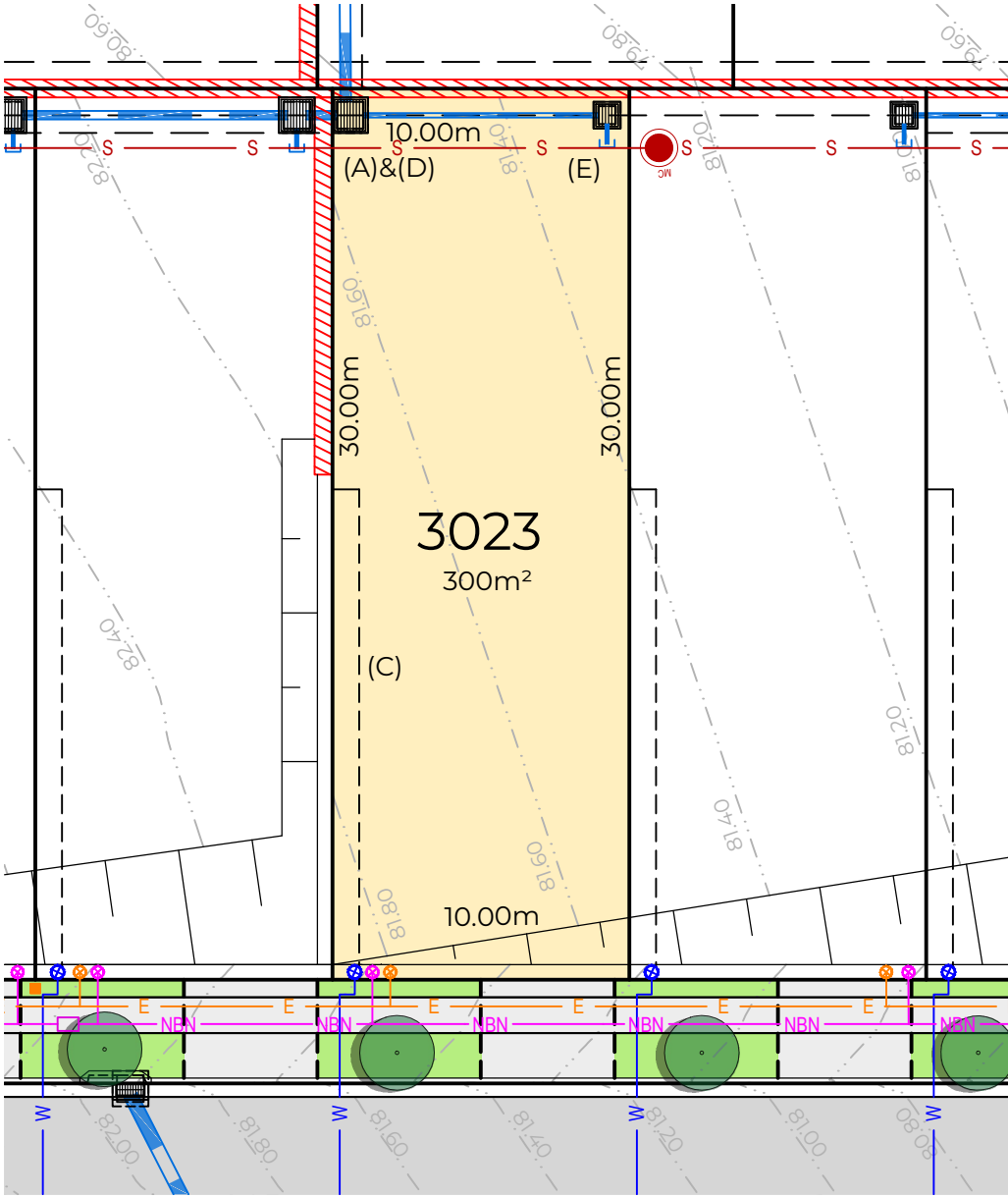
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Lot 3022
STAGE 03 | THE HILLTOP



Lot 3023
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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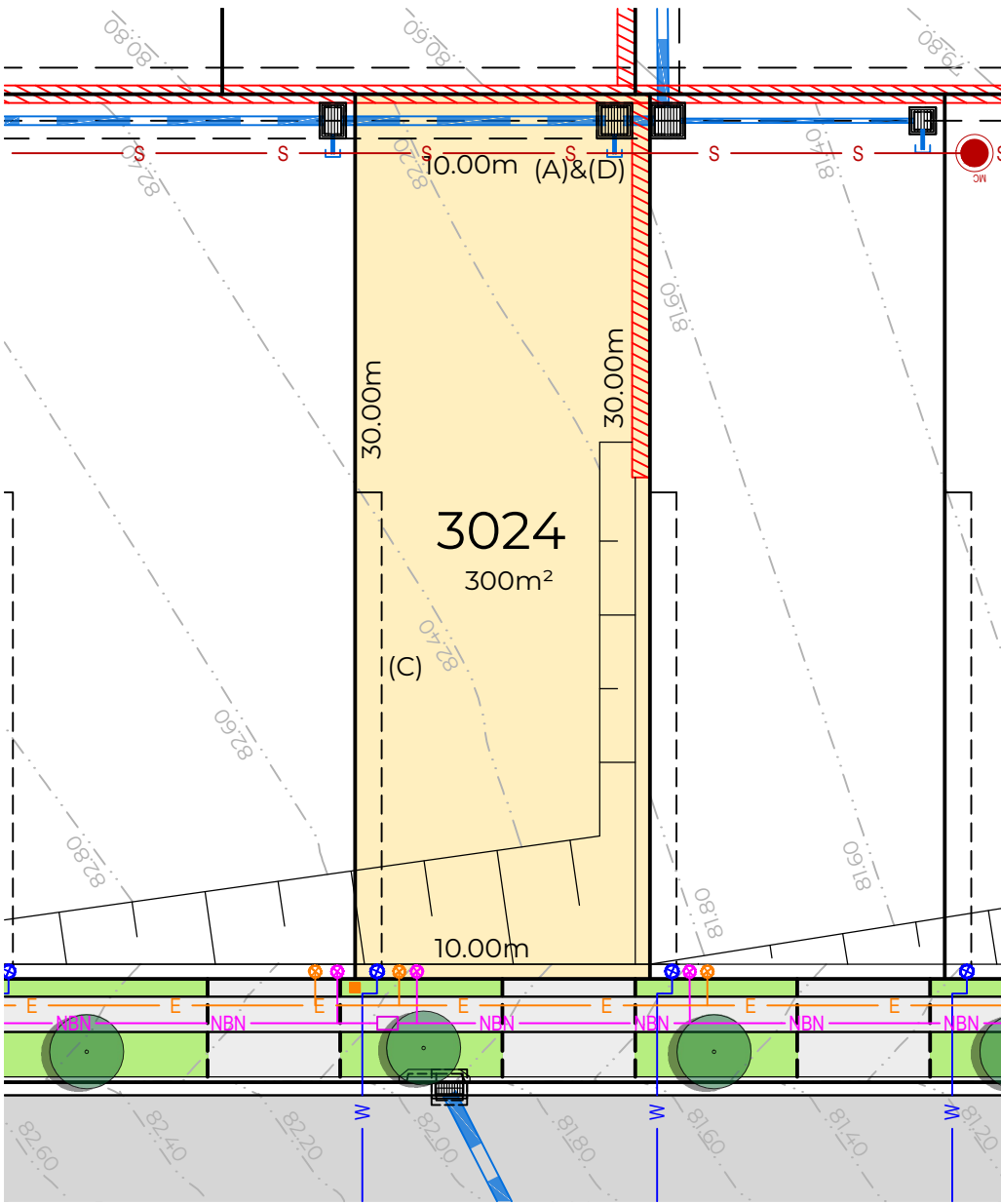
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Lot 3024
STAGE 03 | THE HILLTOP



	LOT BOUNDARY		EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		ELECTRICAL
	FOOTPATH / SHARED PATH		TELECOMMUNICATIONS
	KERB RAMP		POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		SEWER
	RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT		SEWER MAINTENANCE HOLE
	STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET		UTILITY CONNECTIONS
	COUNCIL STREET TREE		COMMUNICATIONS PIT
			ELECTRICAL LIGHT POLE
			ELECTRICAL PILLAR
			ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0 5m
SCALE 1:250



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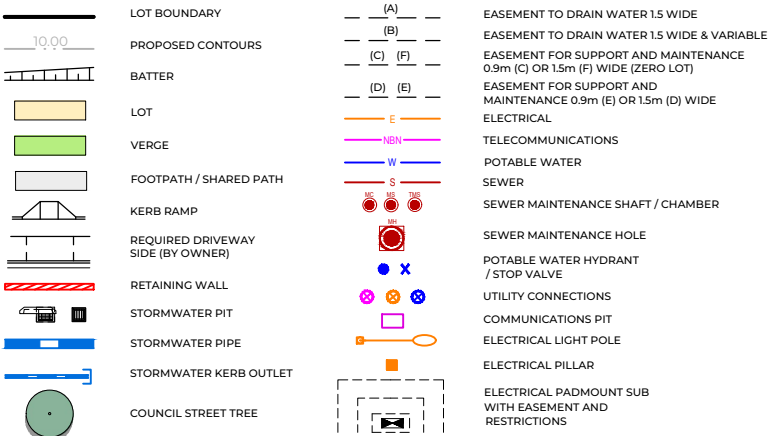
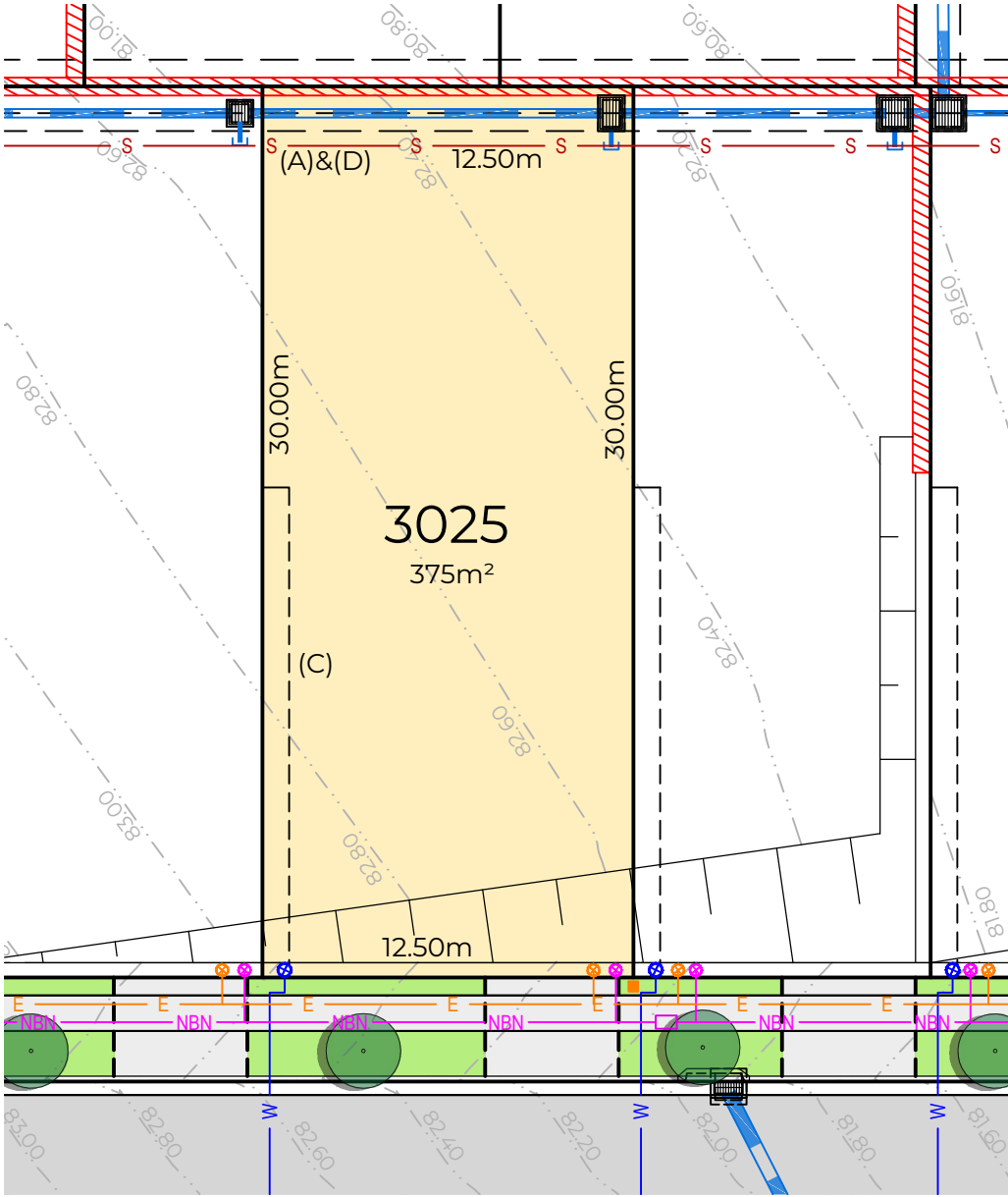
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Lot 3025
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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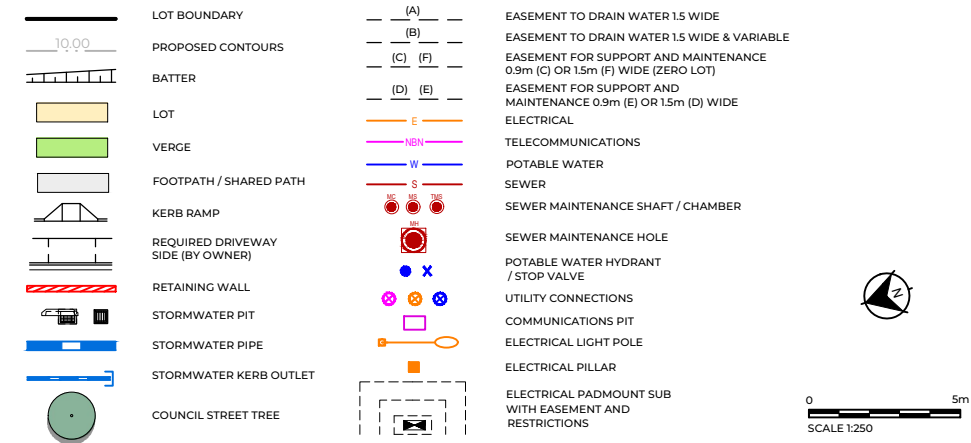
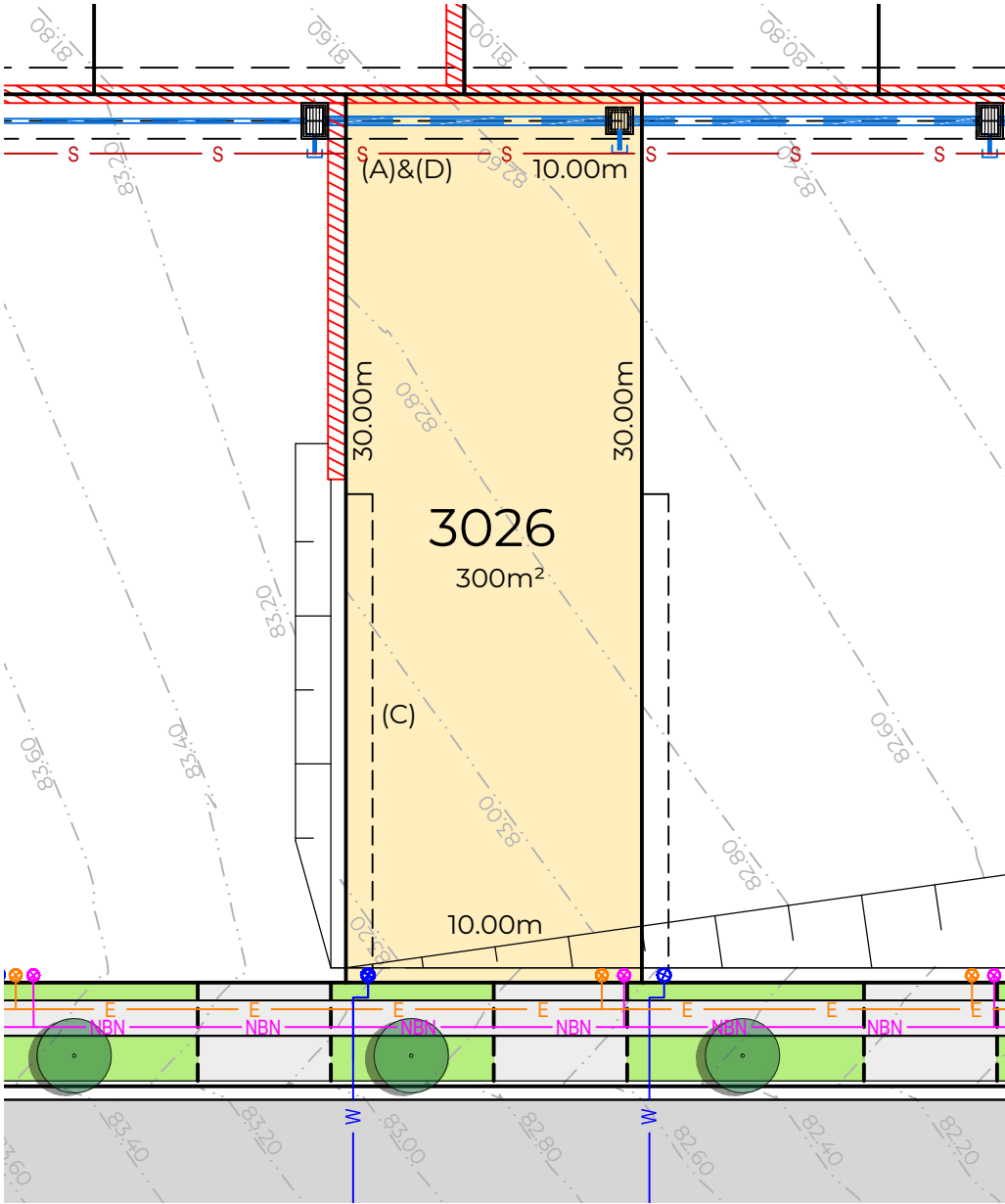
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Lot 3026
STAGE 03 | THE HILLTOP



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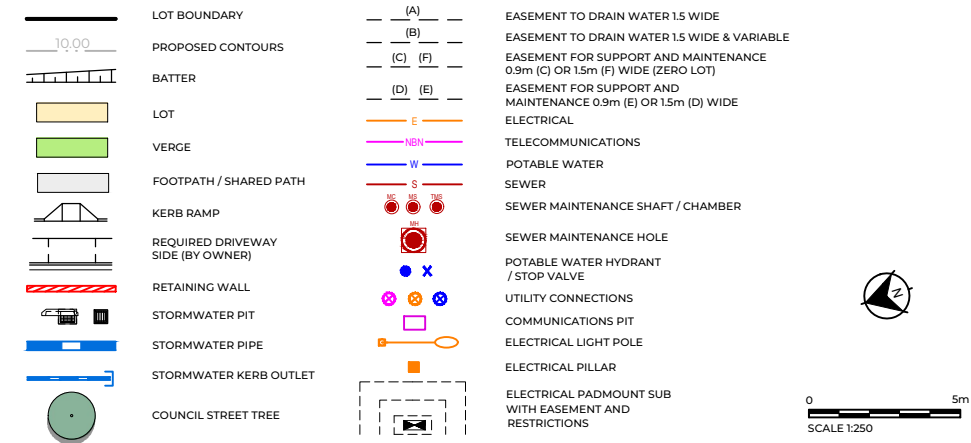
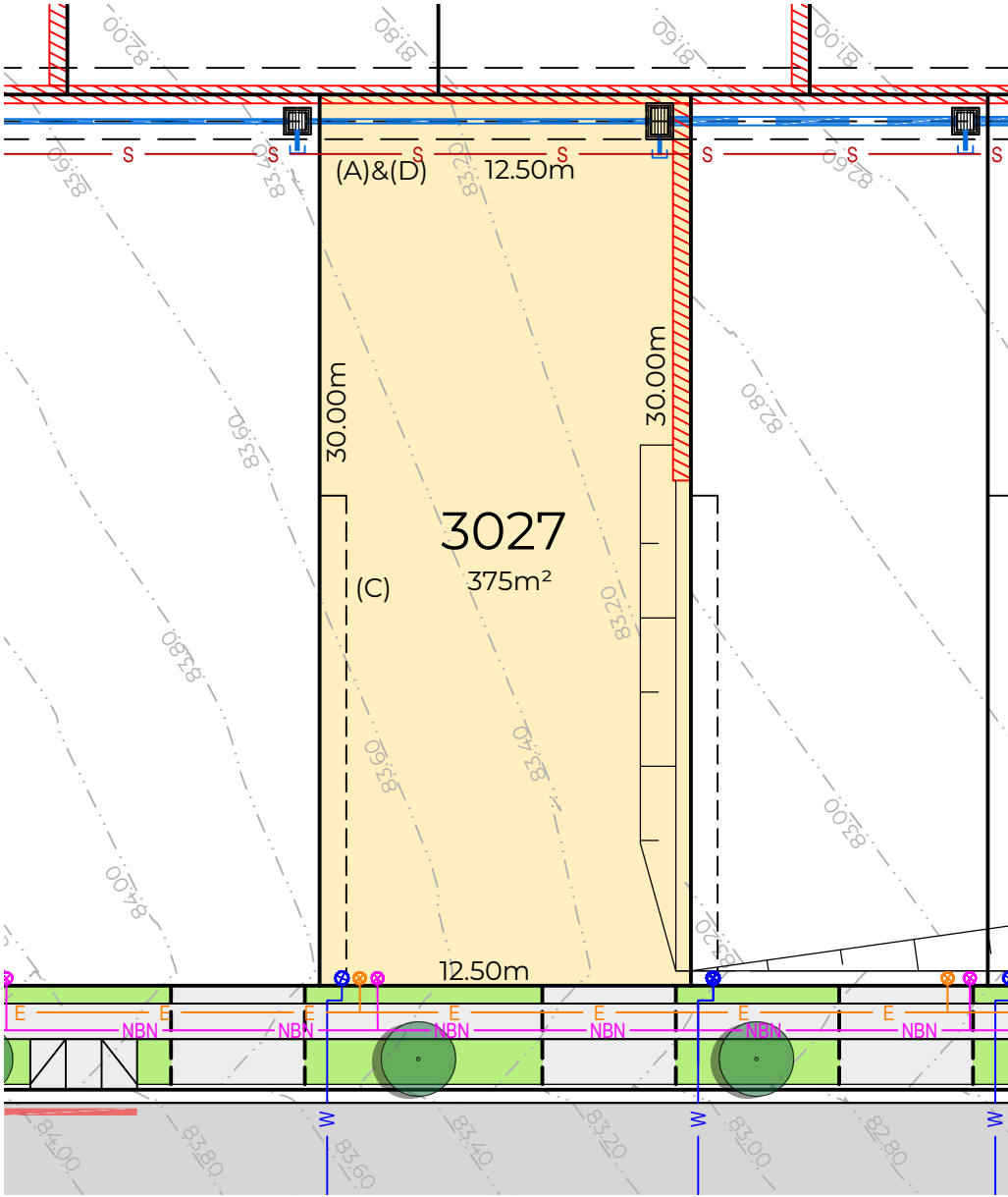
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Lot 3027
STAGE 03 | THE HILLTOP



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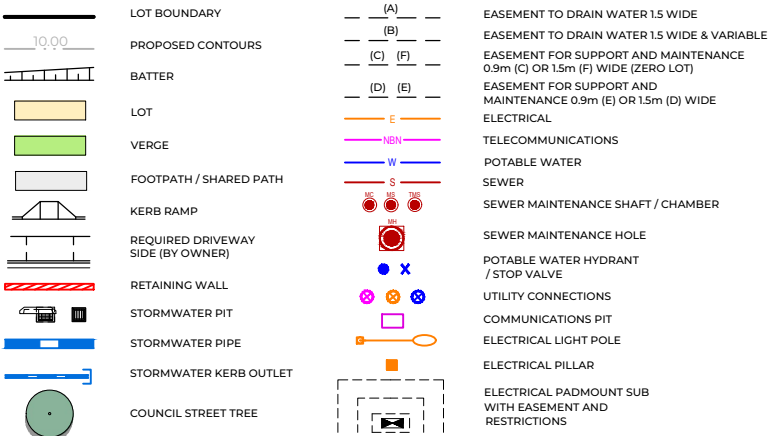
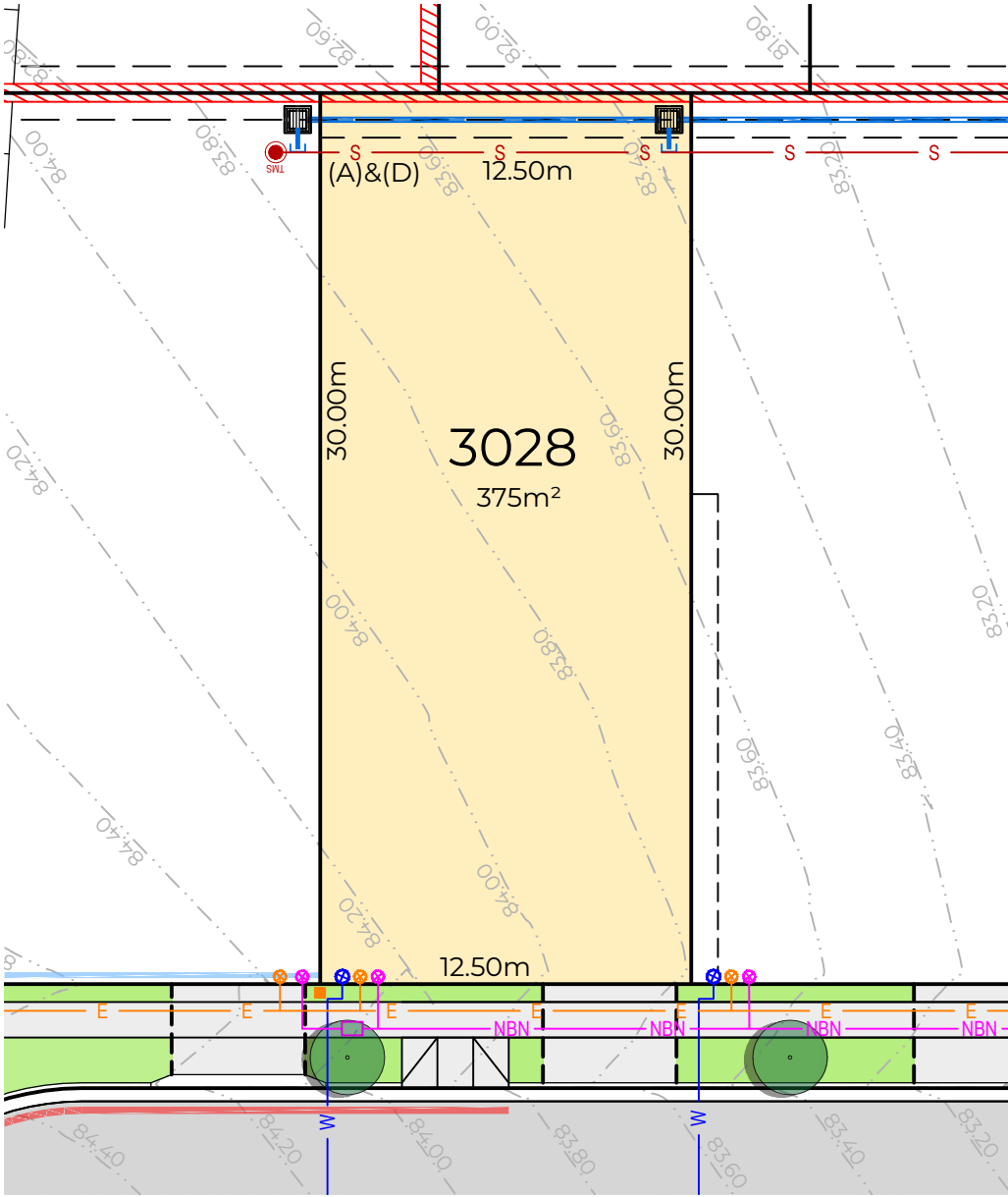
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Lot 3028
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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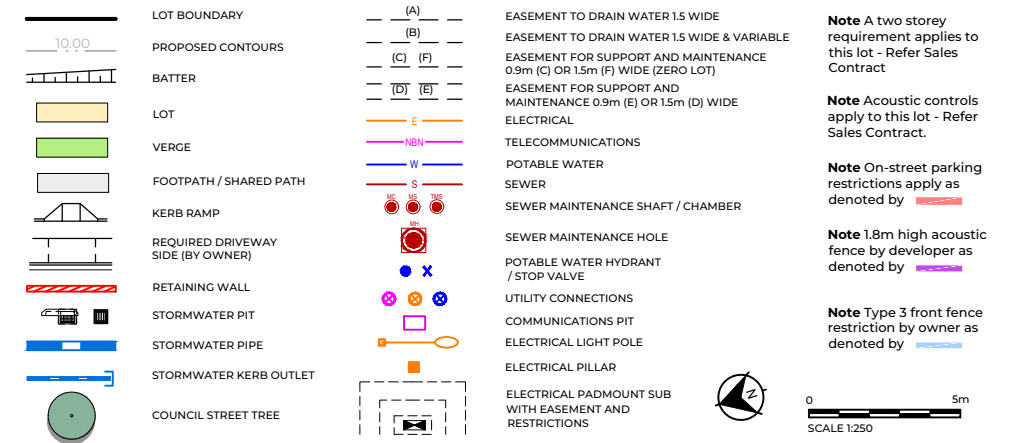
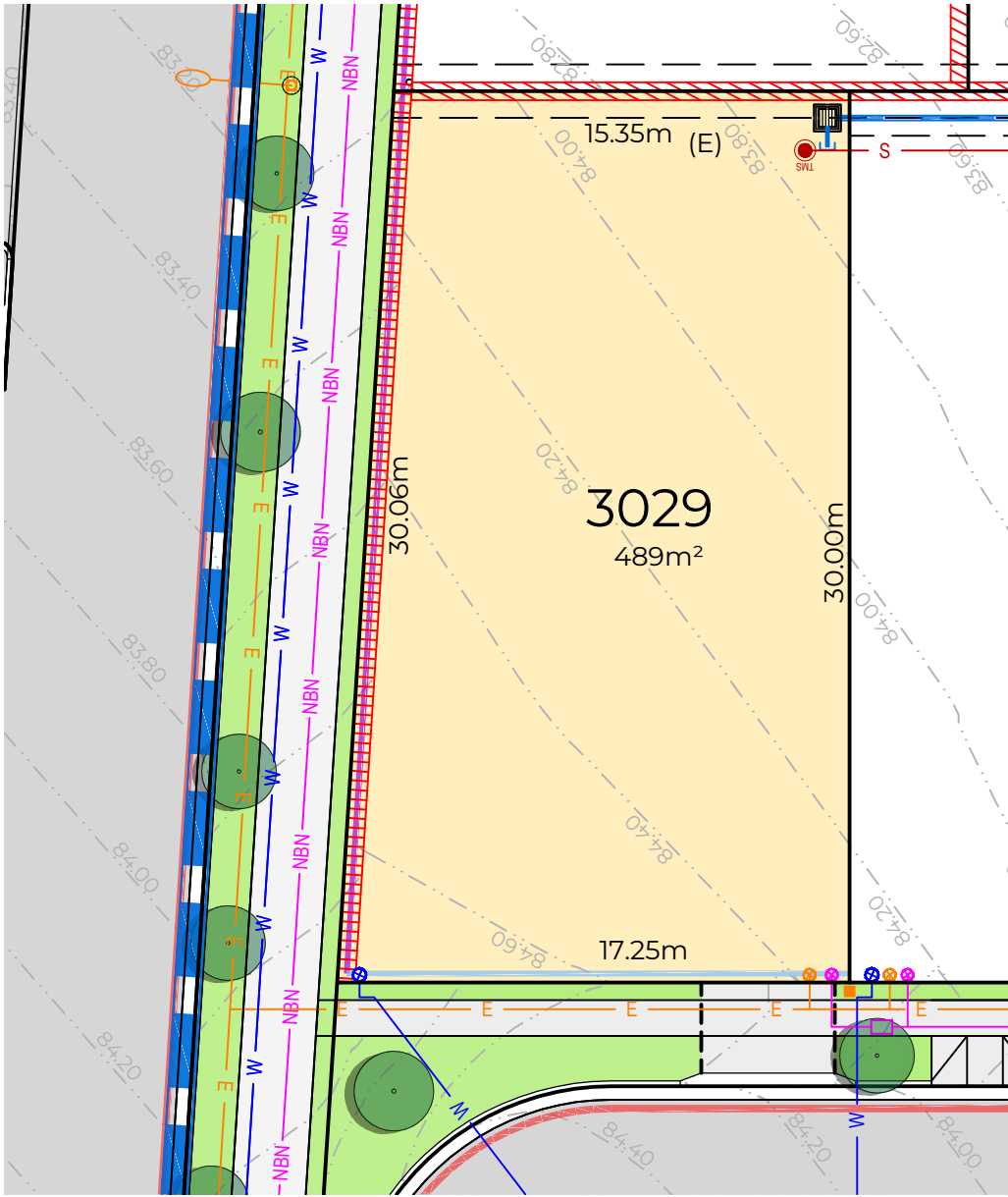
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Lot 3029
STAGE 03 | THE HILLTOP



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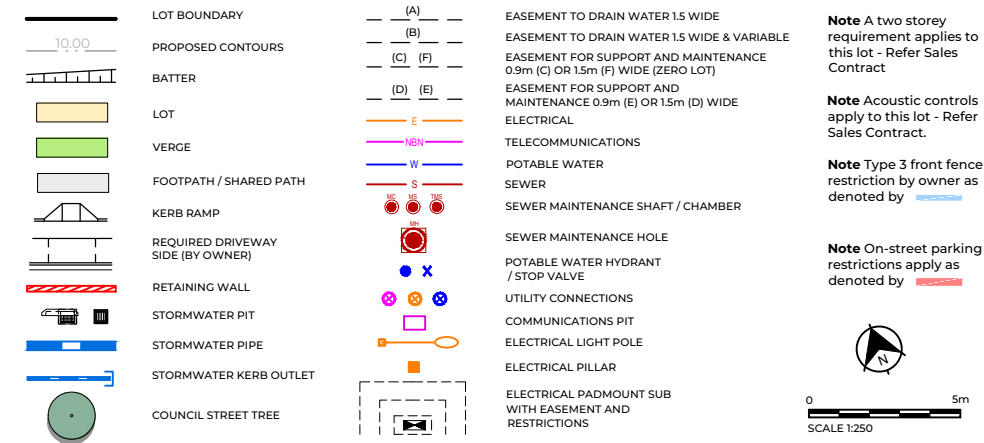
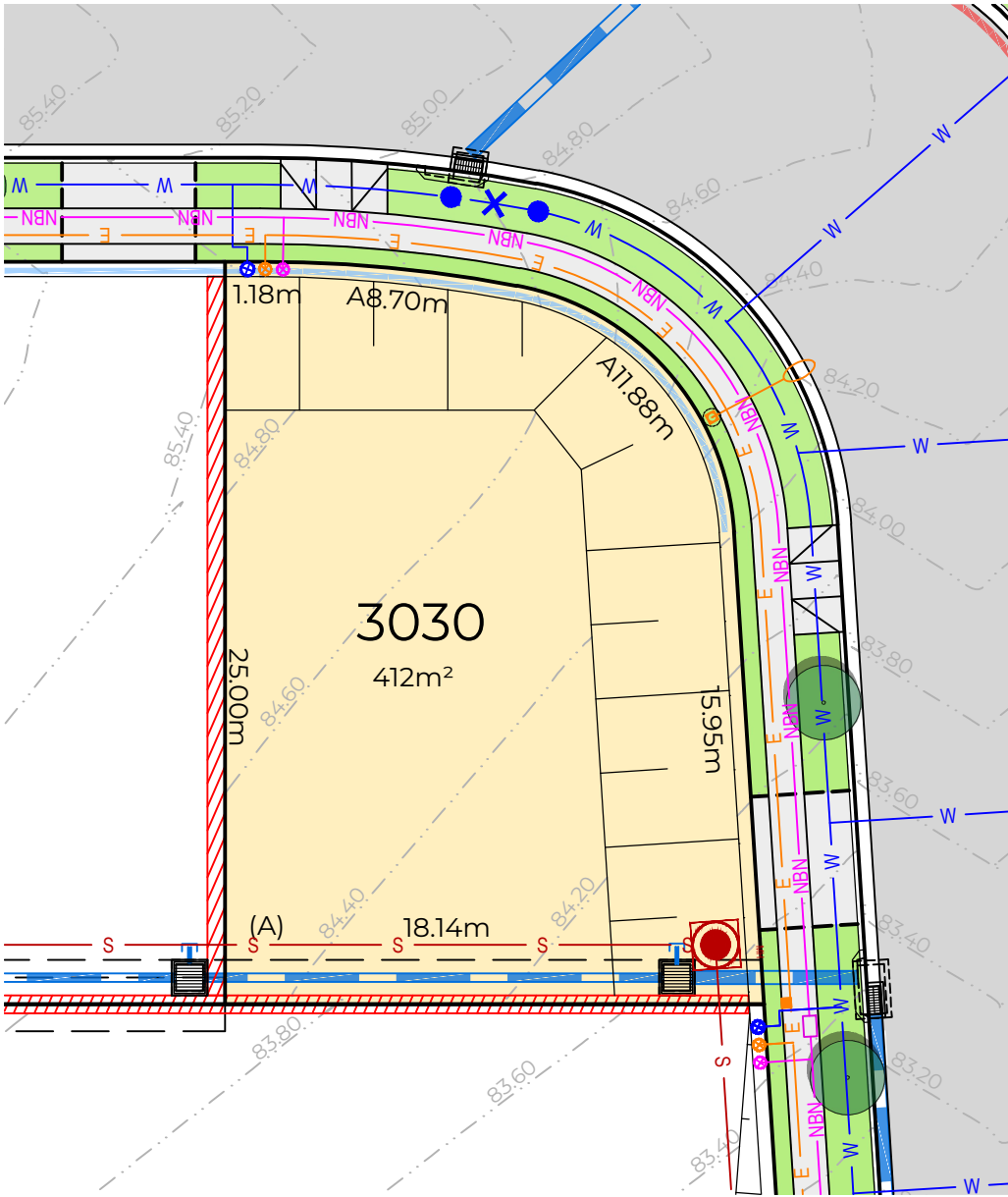
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Lot 3030
STAGE 03 | THE HILLTOP



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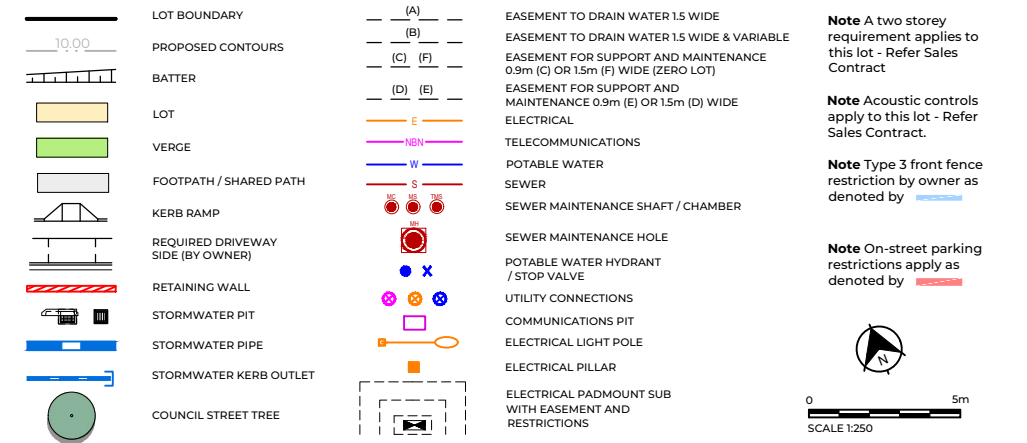
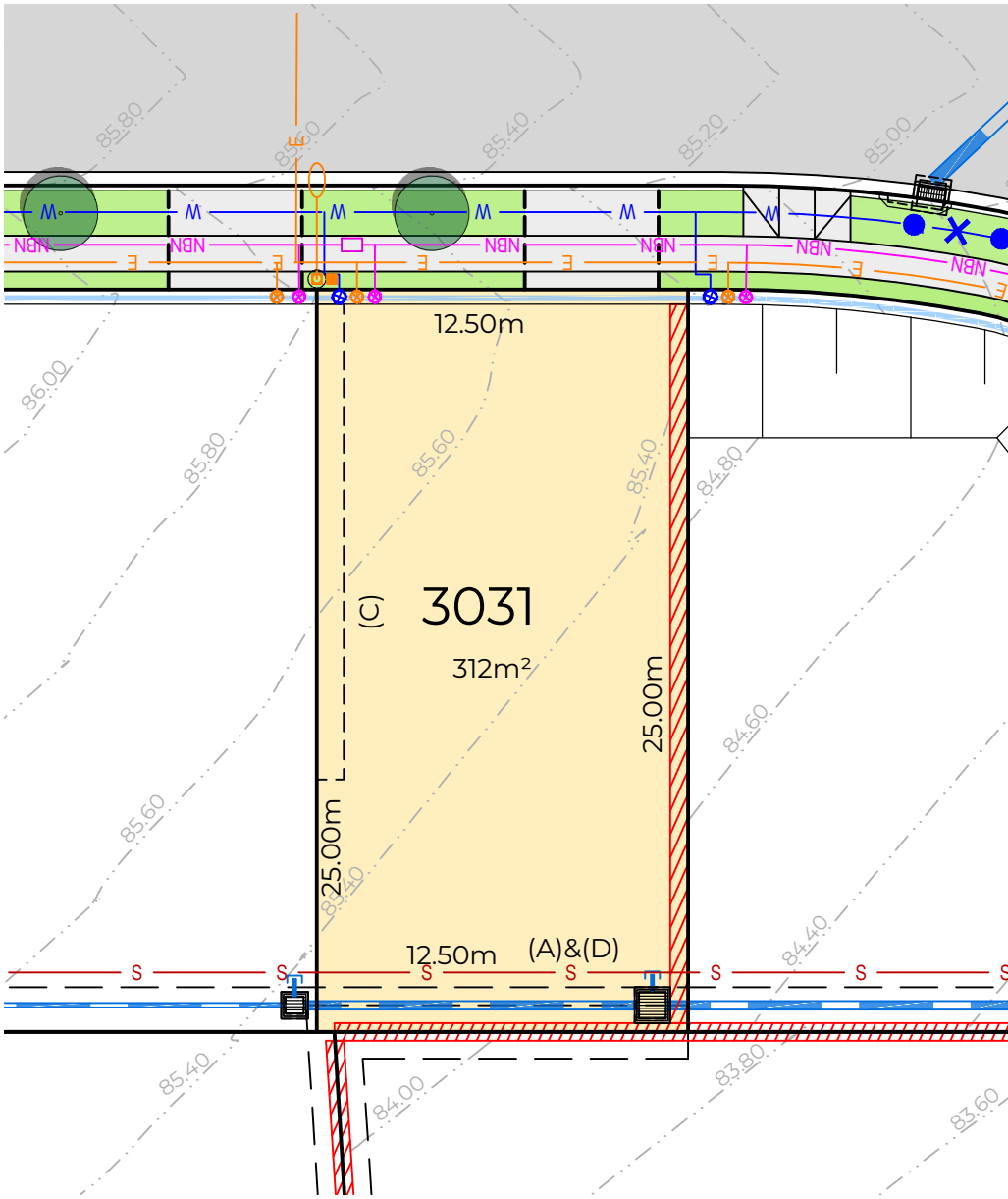
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Lot 3031

STAGE 03 | THE HILLTOP



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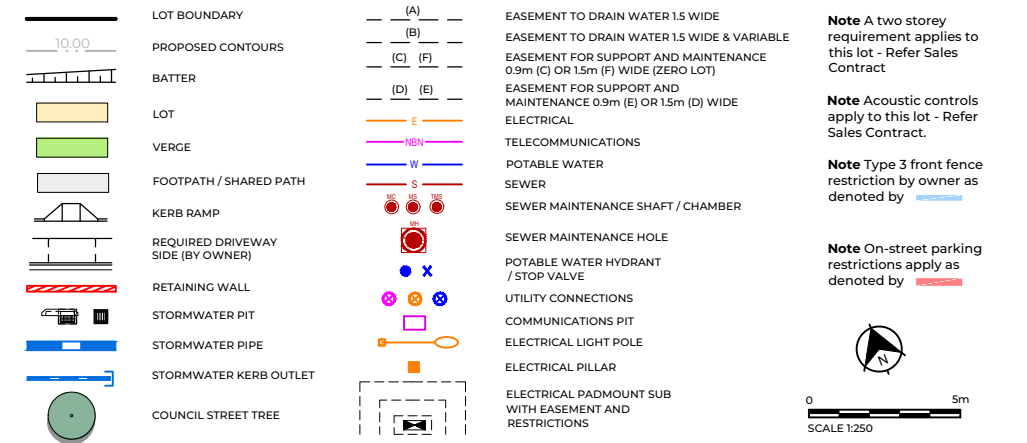
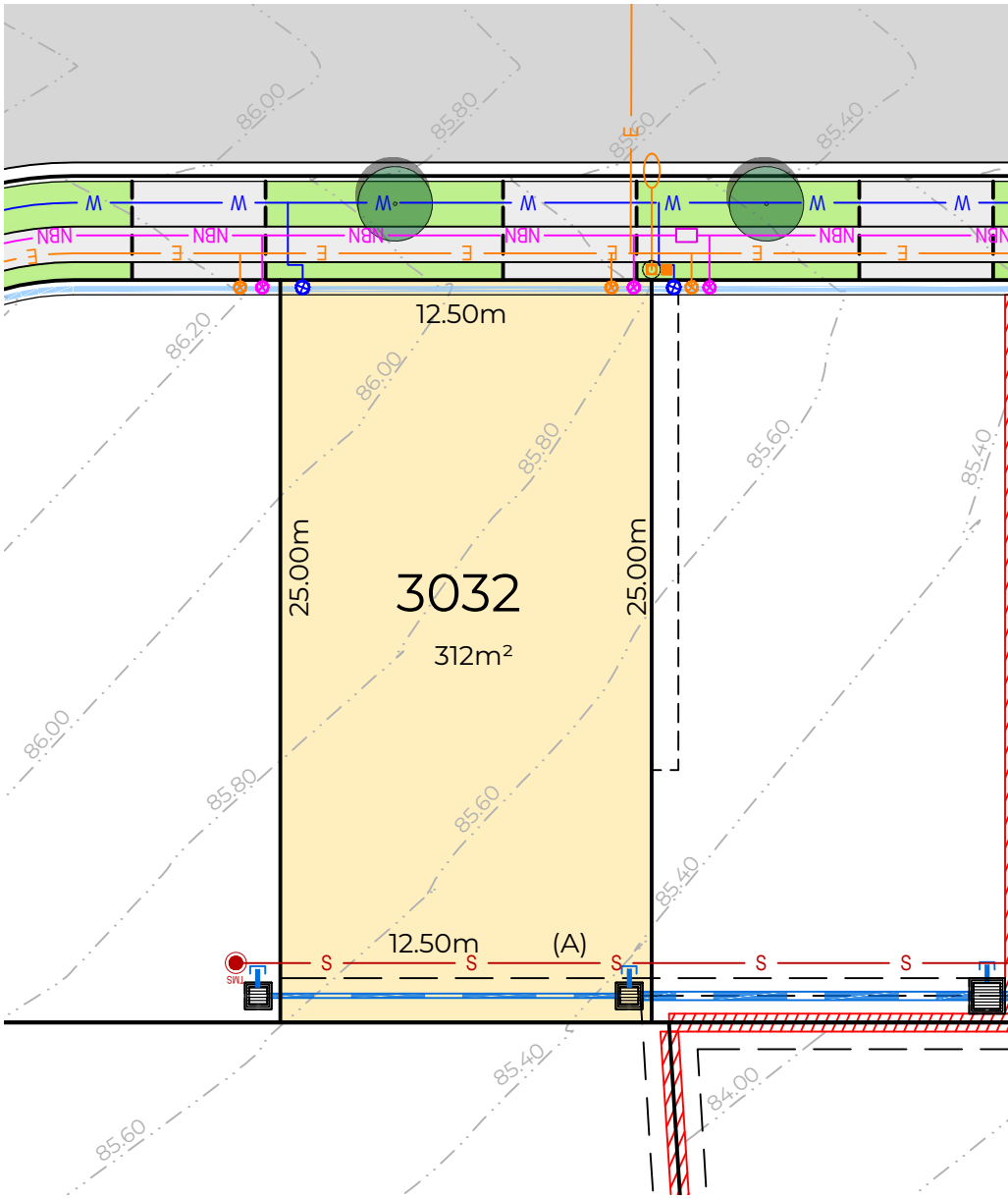
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Lot 3032

STAGE 03 | THE HILLTOP



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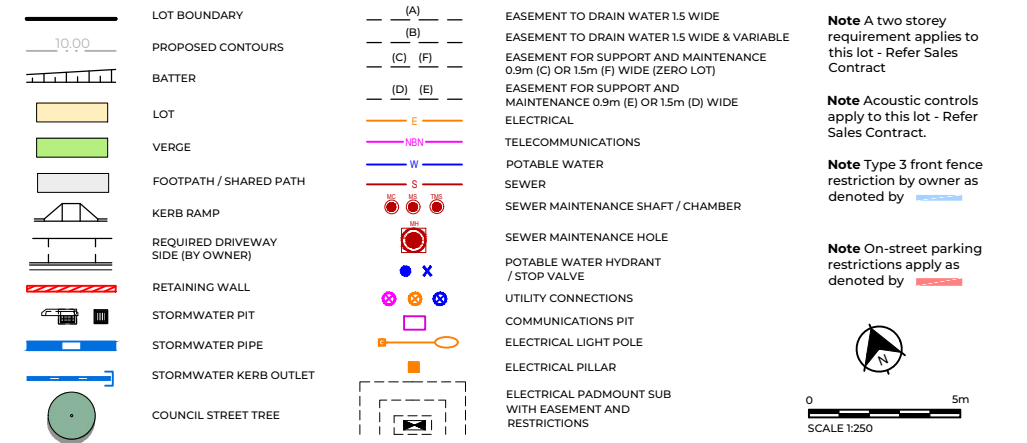
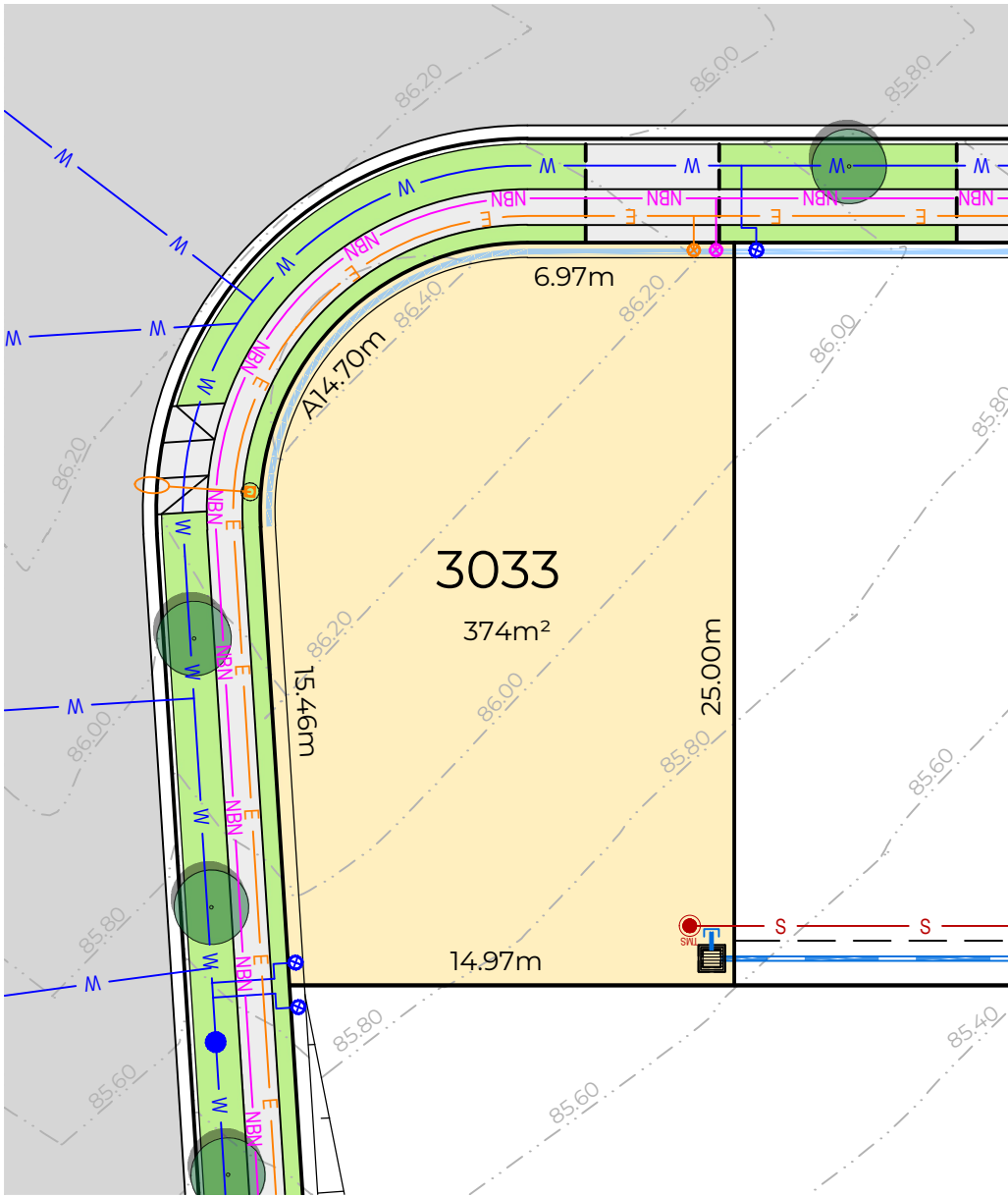
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Lot 3033

STAGE 03 | THE HILLTOP



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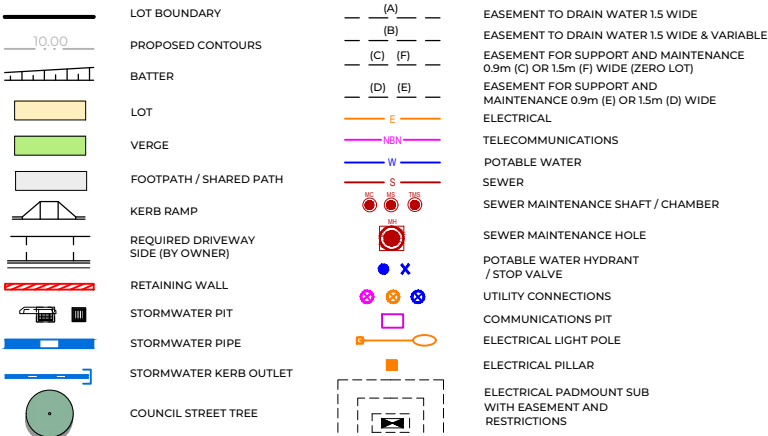
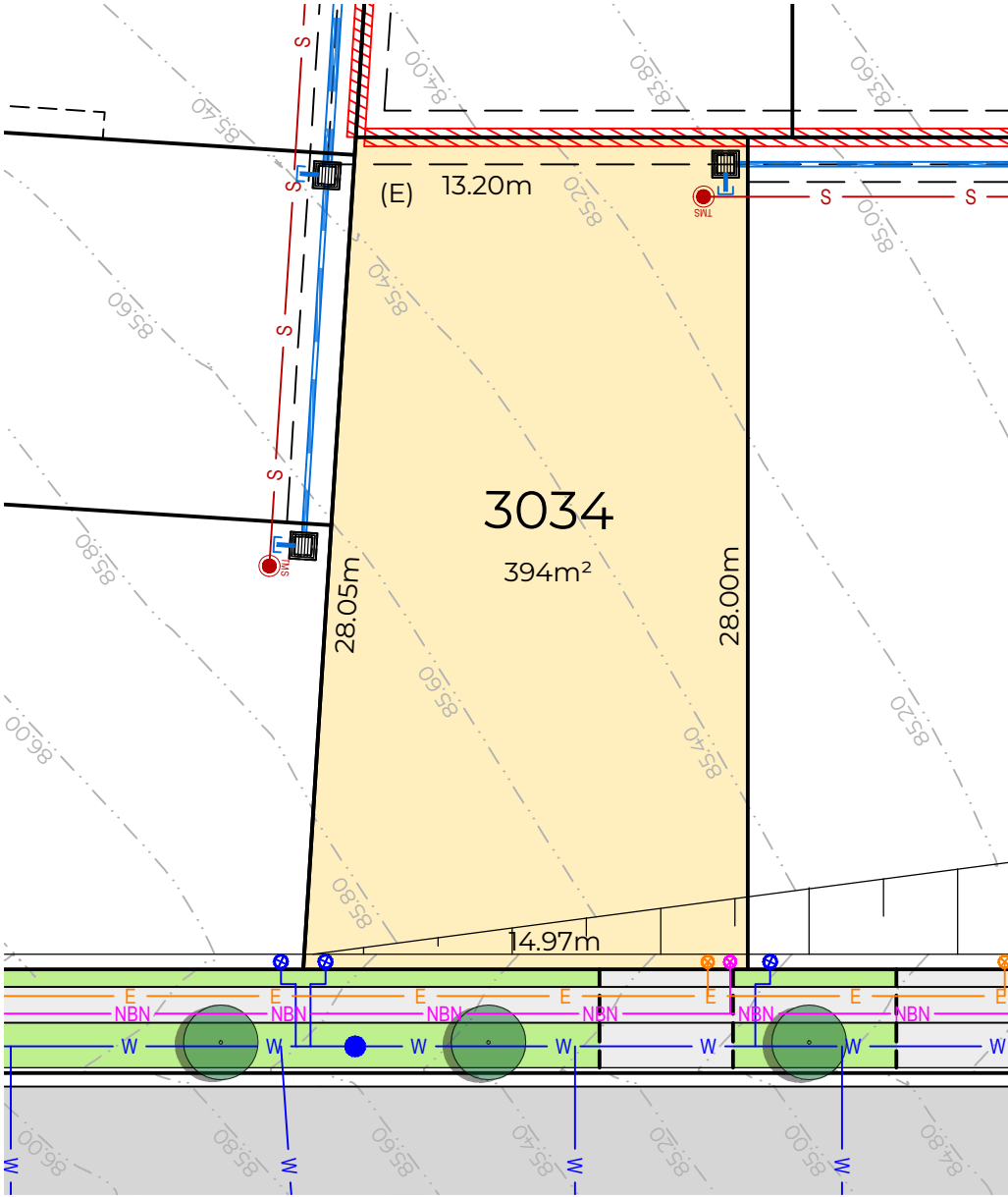
SALES CENTRE

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Lot 3034

STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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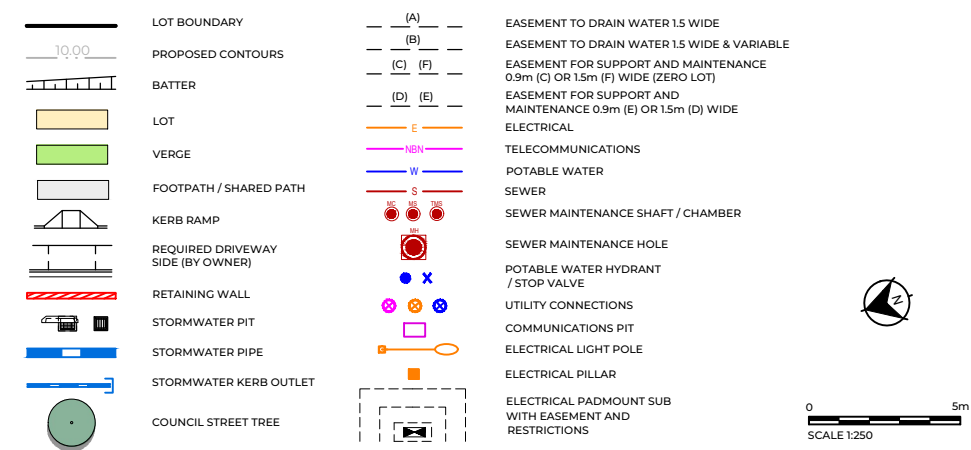
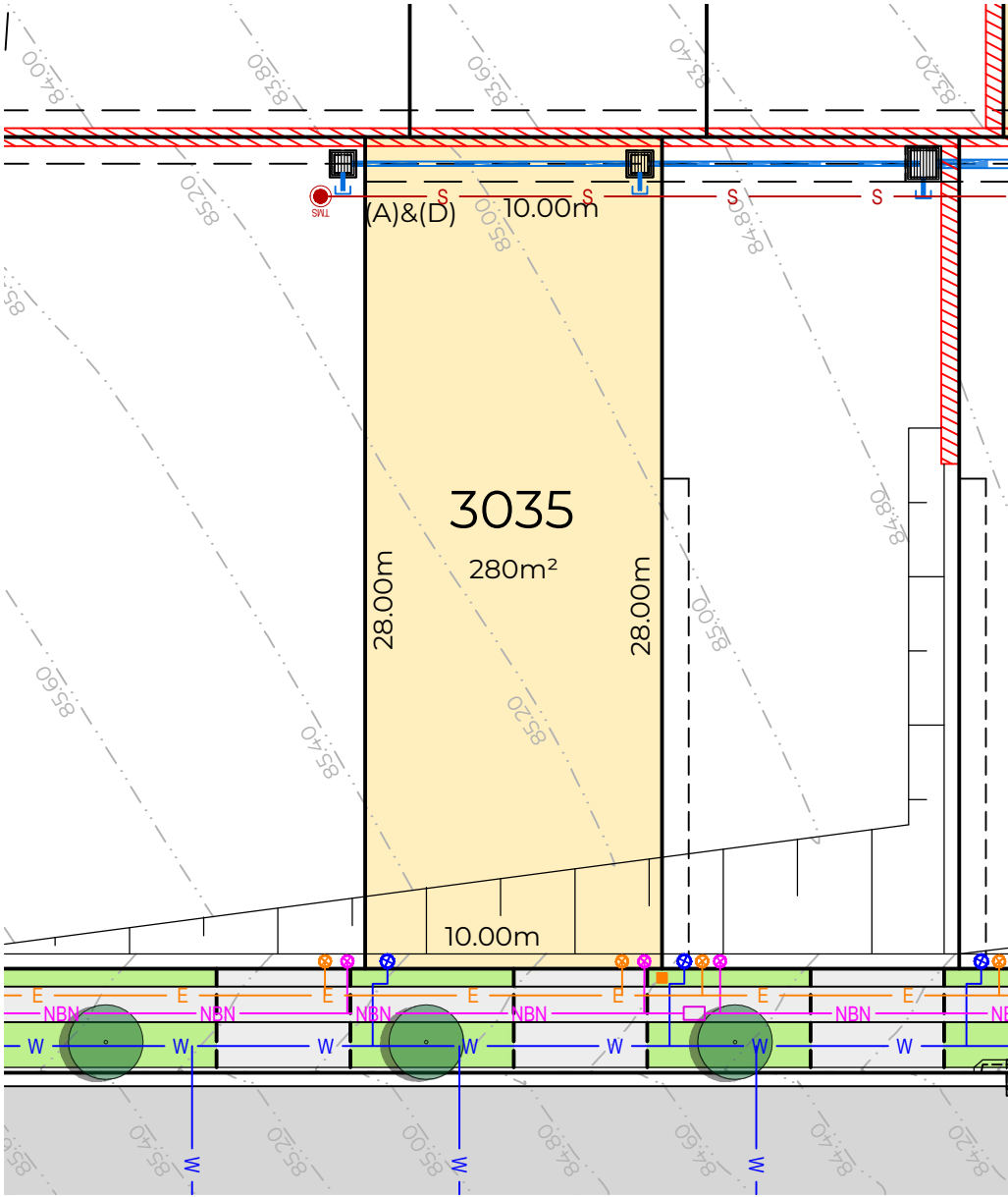
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Lot 3035
STAGE 03 | THE HILLTOP



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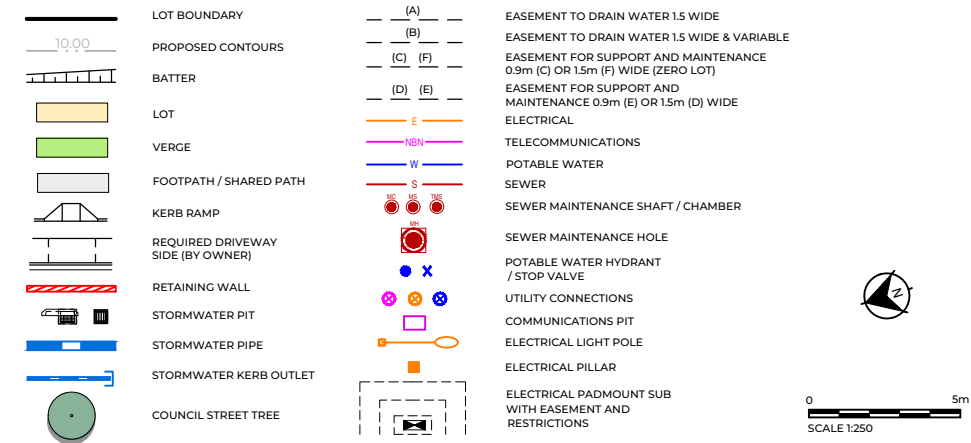
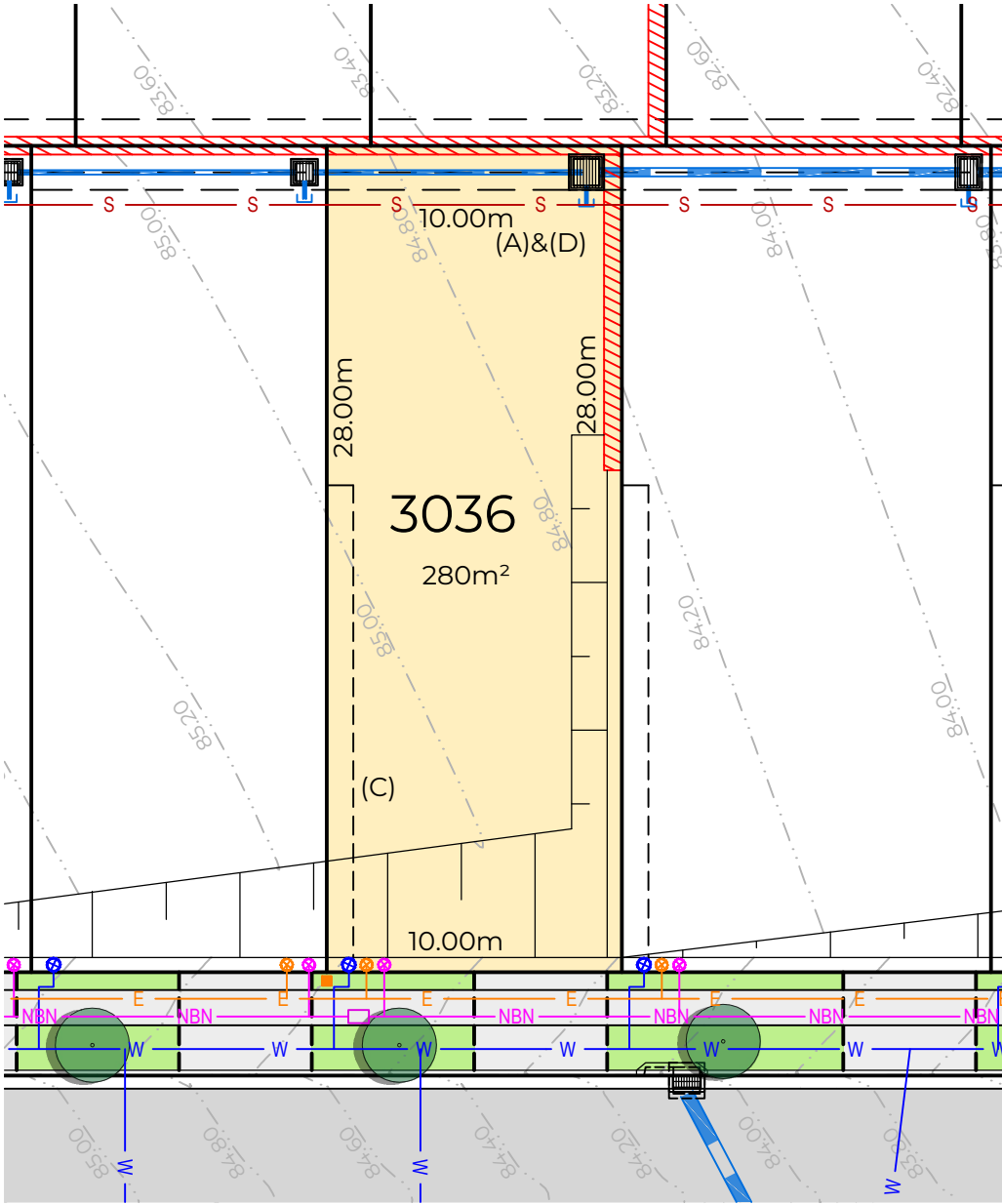
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Lot 3036
STAGE 03 | THE HILLTOP



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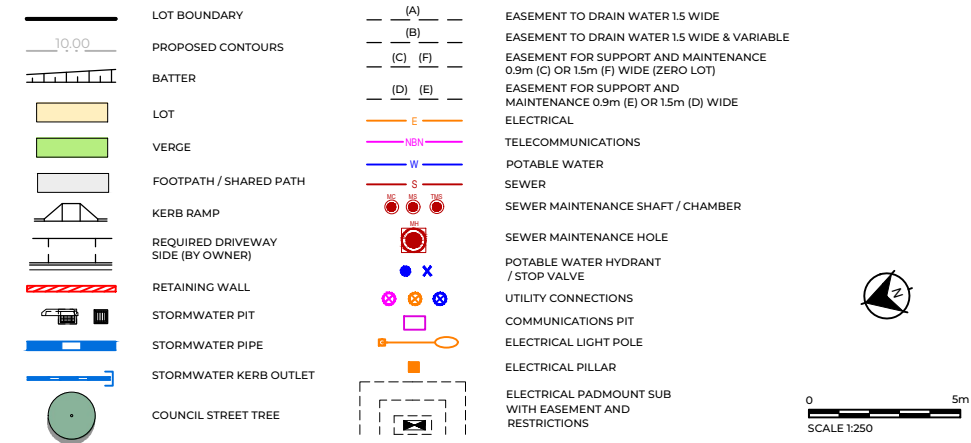
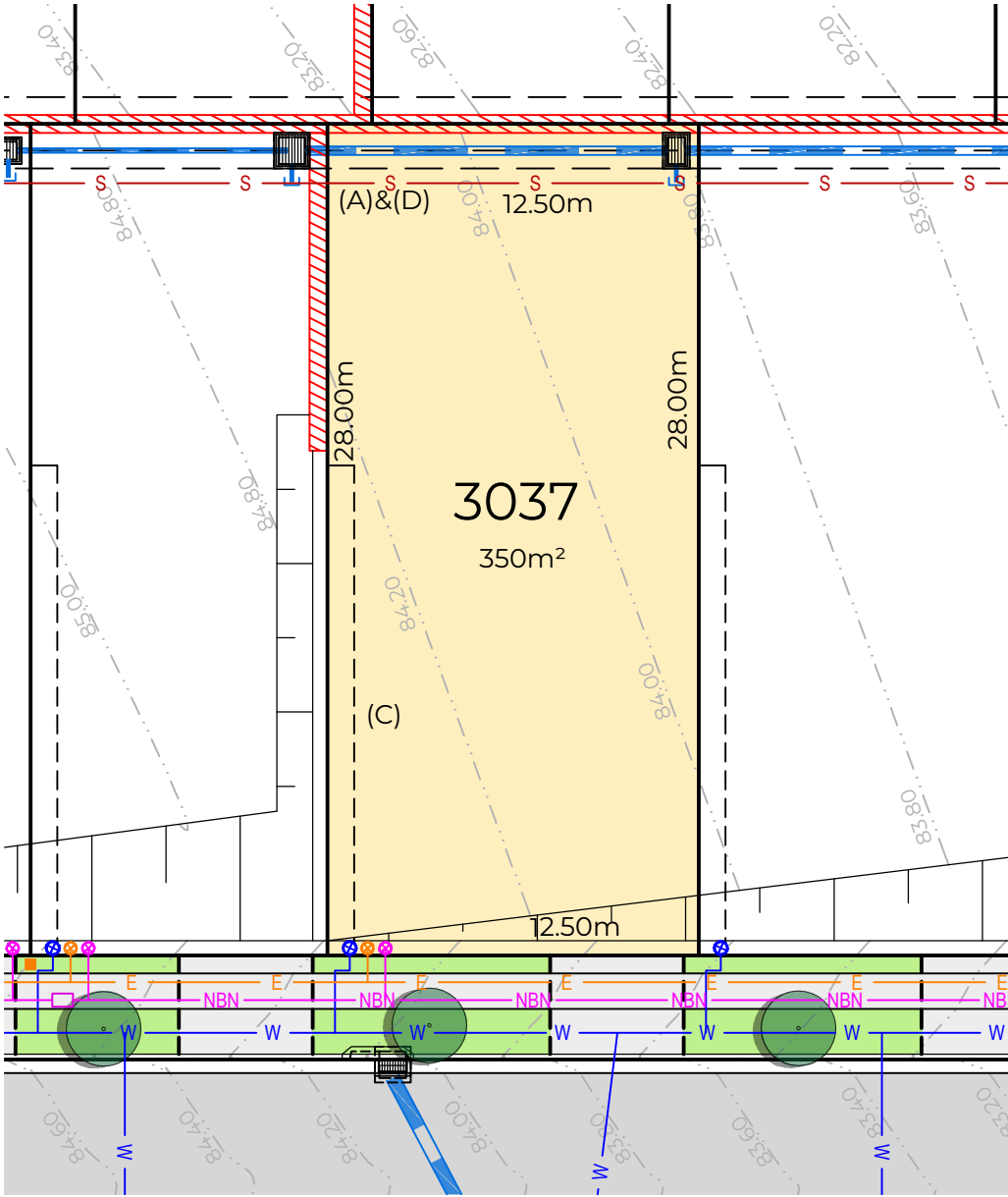
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Lot 3037
STAGE 03 | THE HILLTOP



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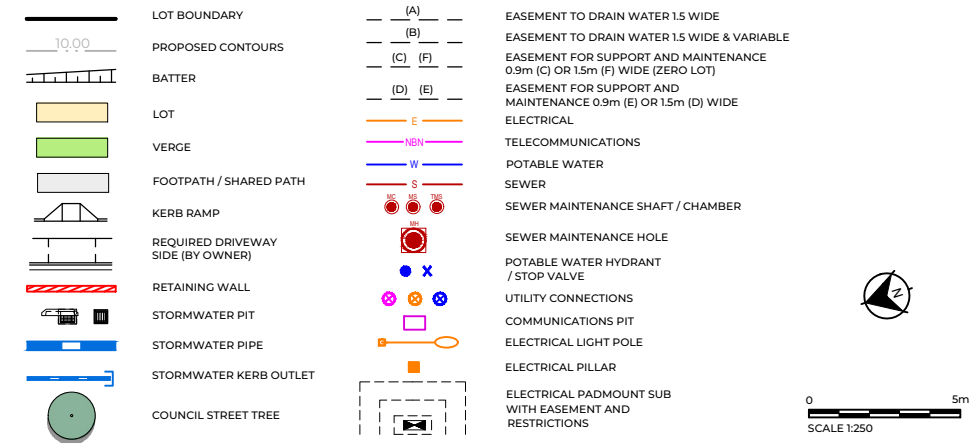
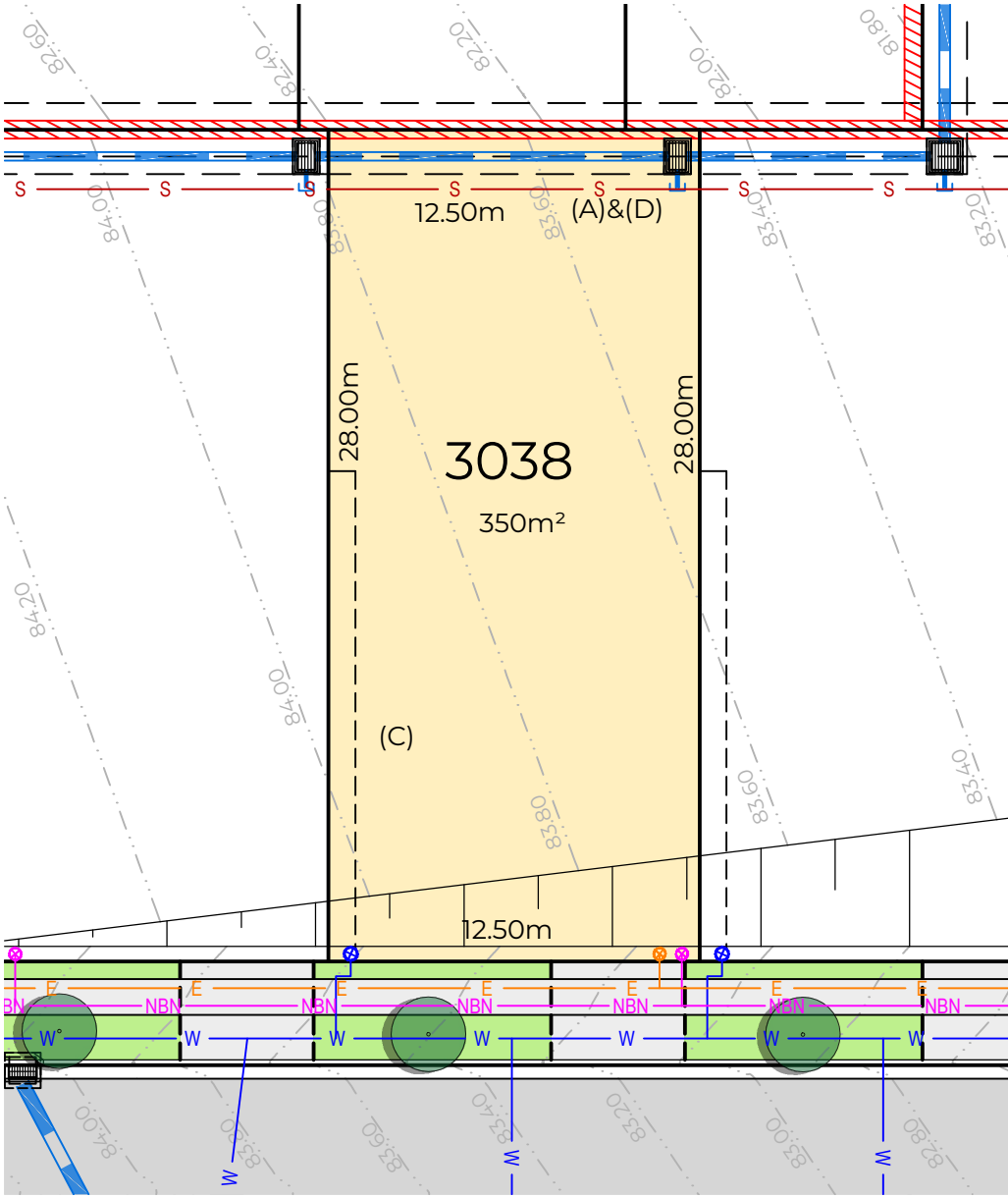
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Lot 3038
STAGE 03 | THE HILLTOP



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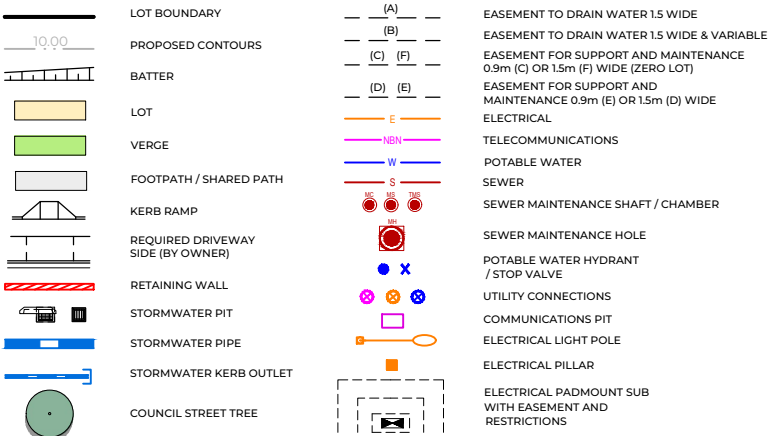
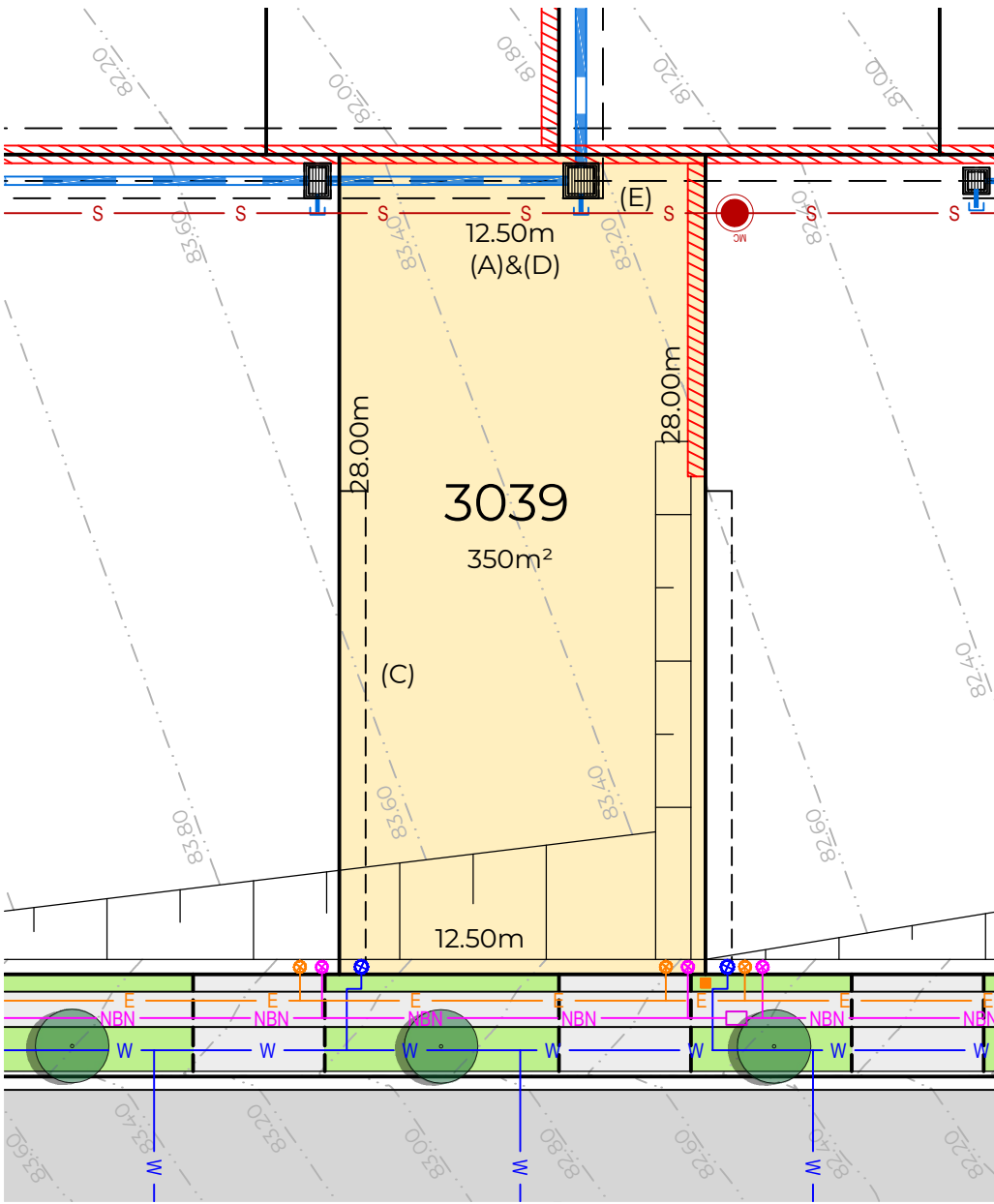
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Lot 3039
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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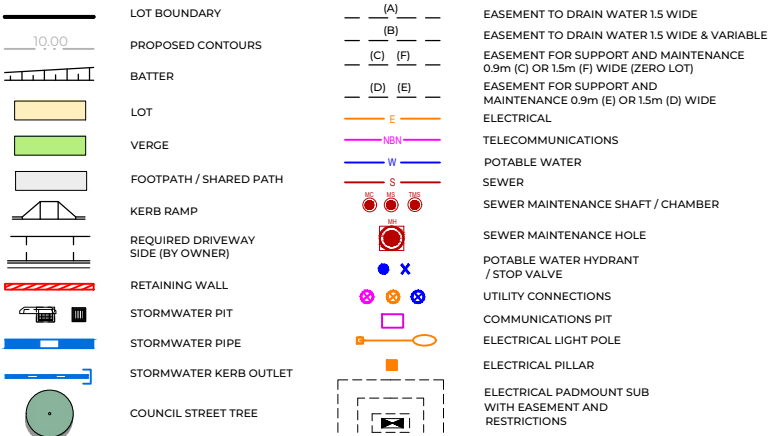
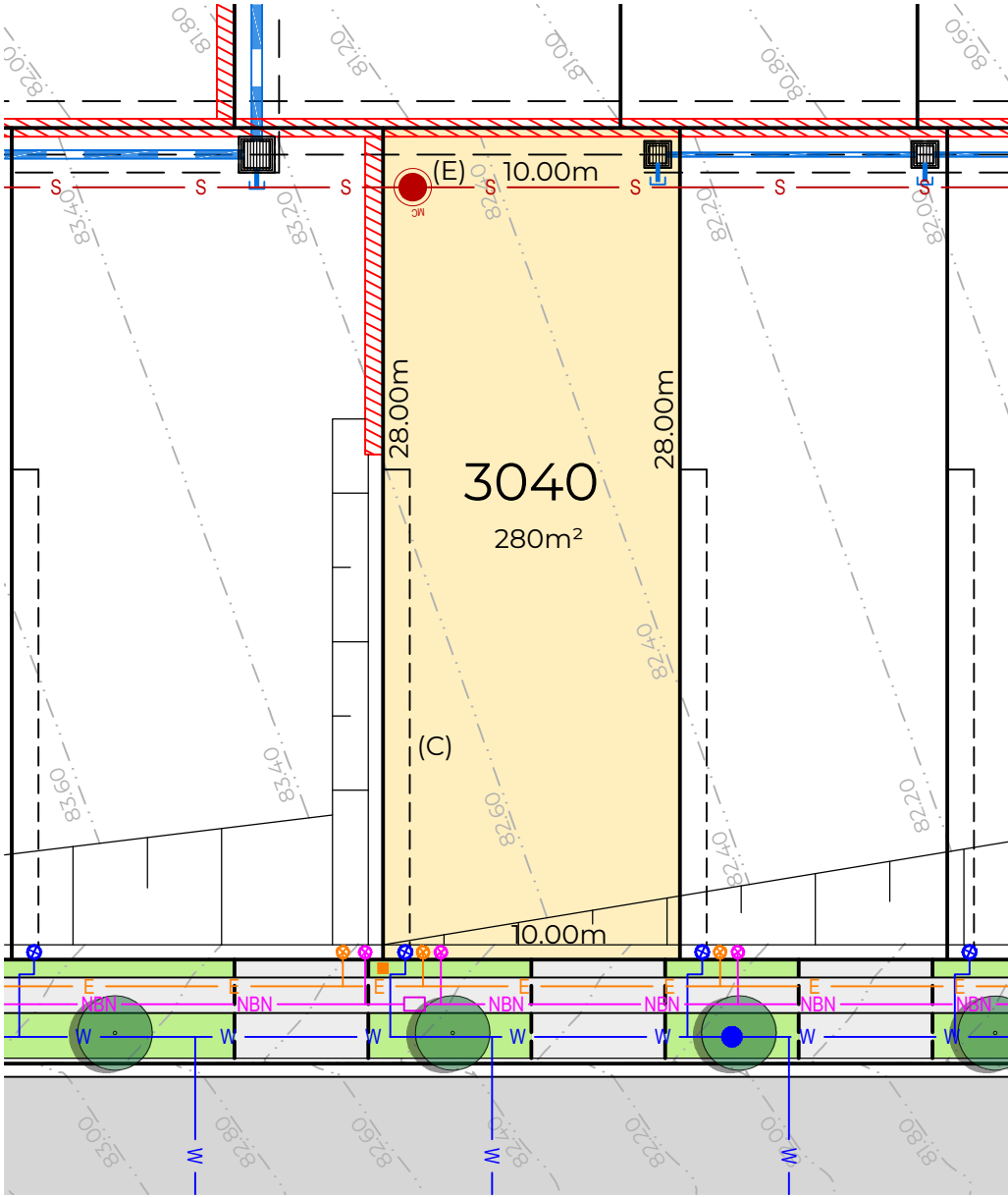
SALES CENTRE

975 The Northern Road,
Bringelly NSW 2556

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Lot 3040
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



BIRLING

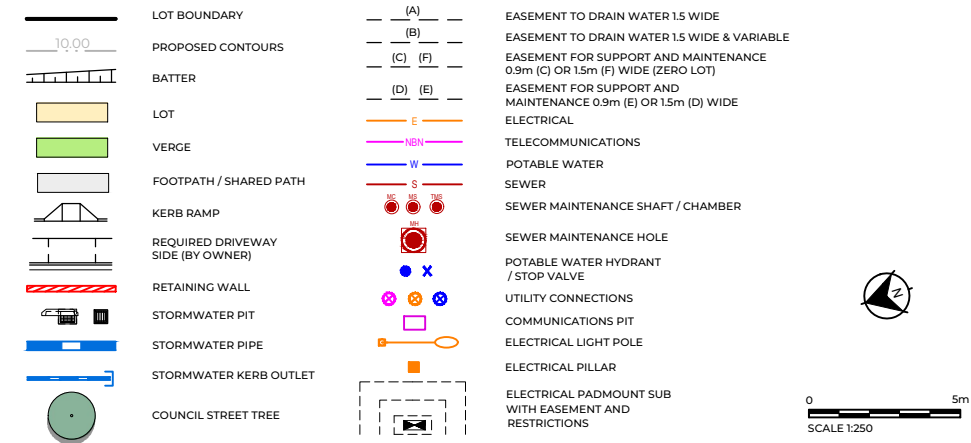
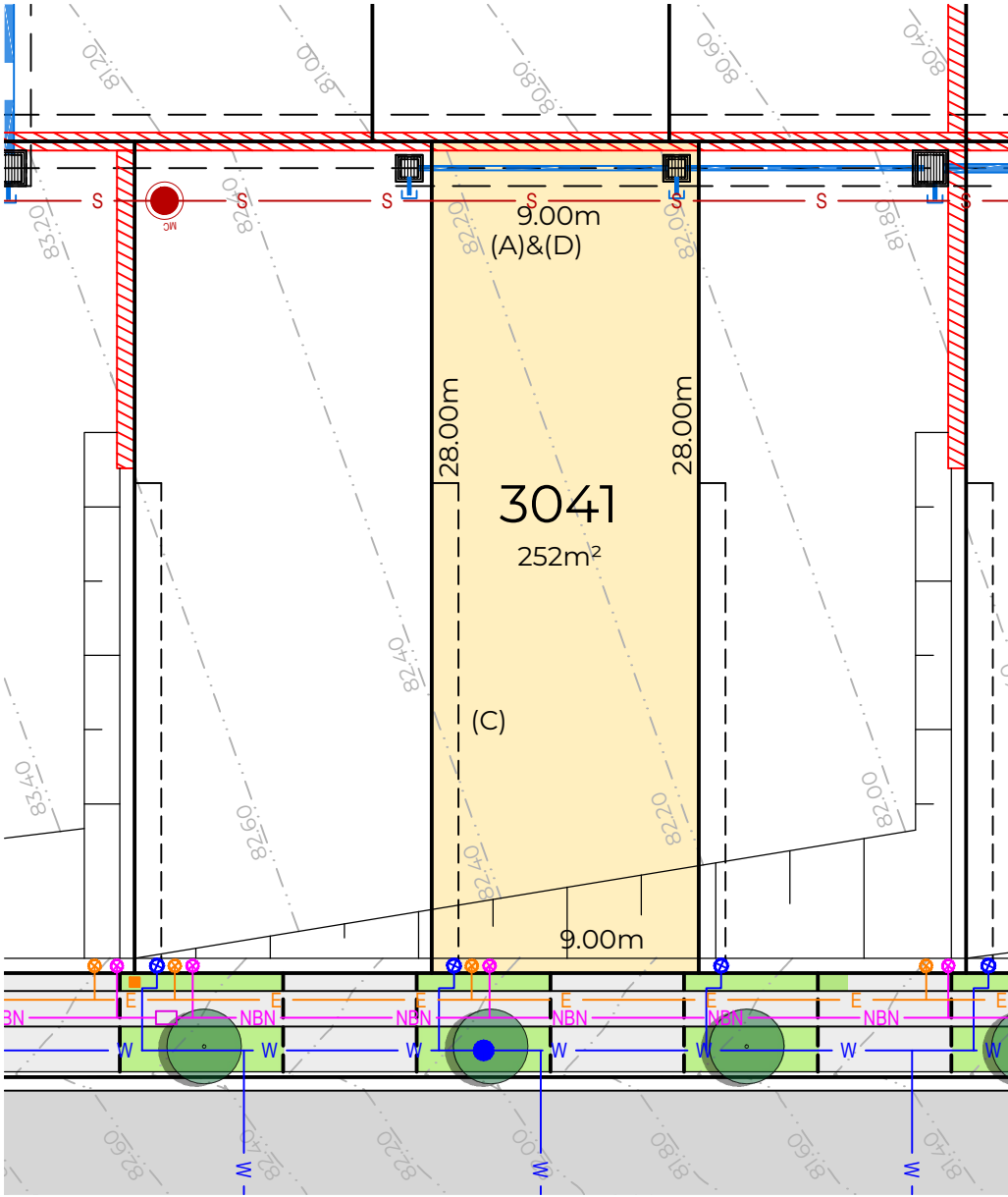
Lot Plan

02 9050 0555
info@birlingcommunity.com.au
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SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556

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Lot 3041
STAGE 03 | THE HILLTOP



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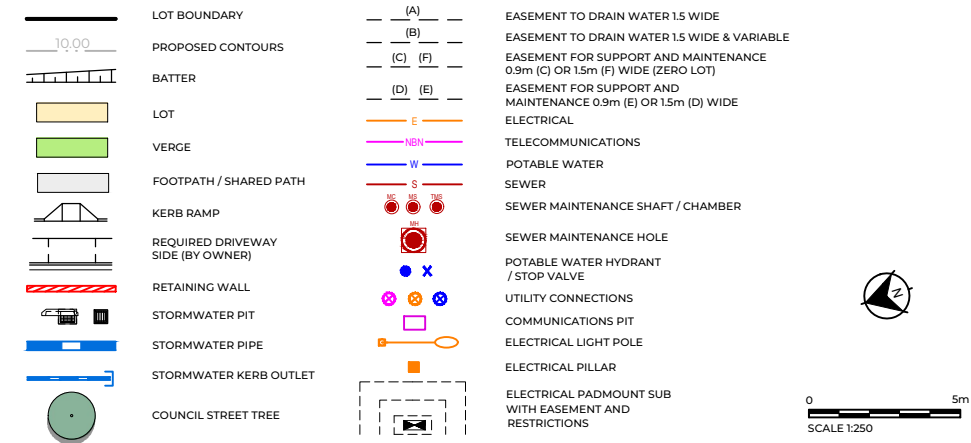
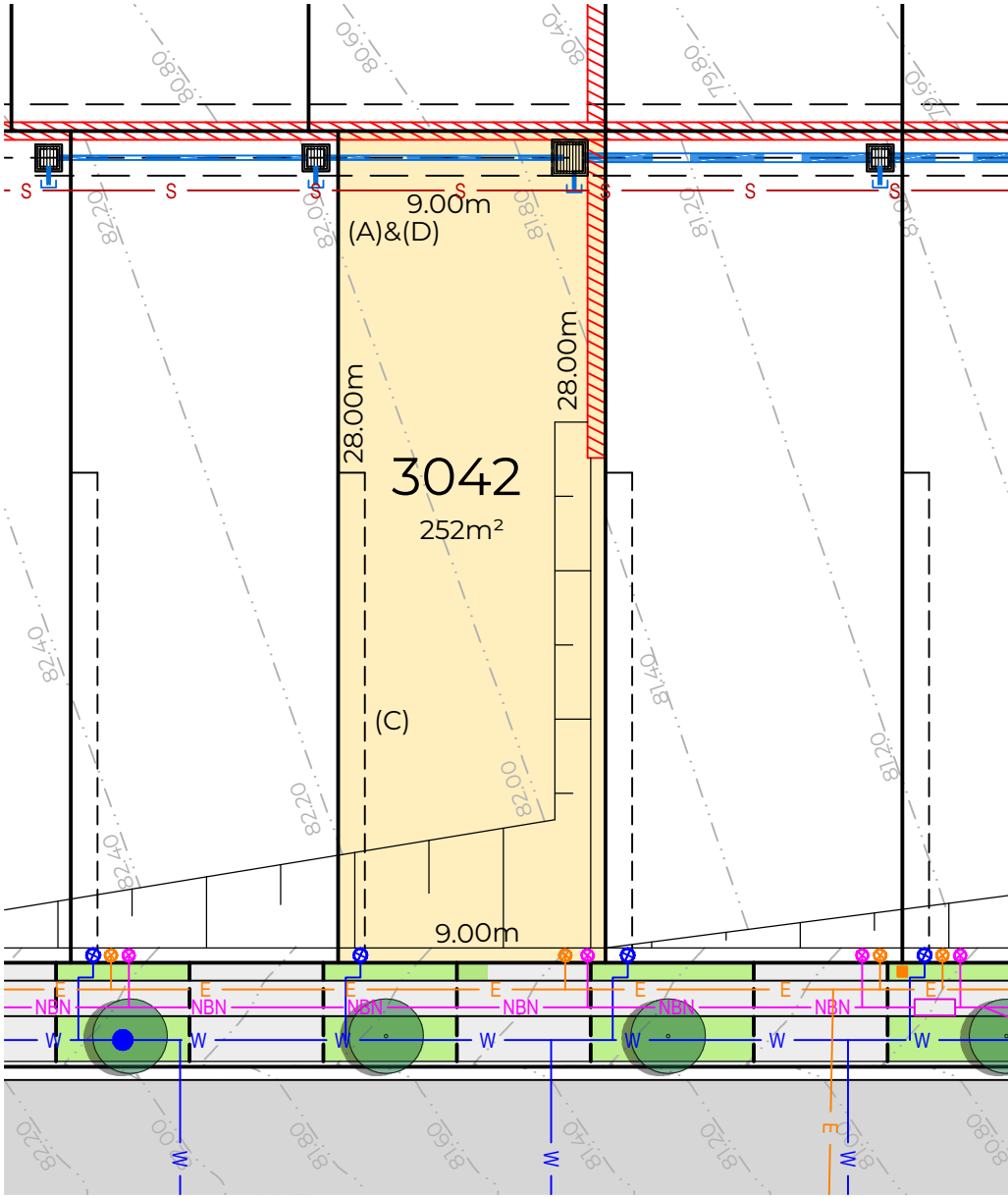
BIRLING

Lot Plan

02 9050 0555
info@birlingcommunity.com.au
birlingcommunity.com.au
SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3042
STAGE 03 | THE HILLTOP



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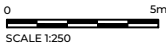
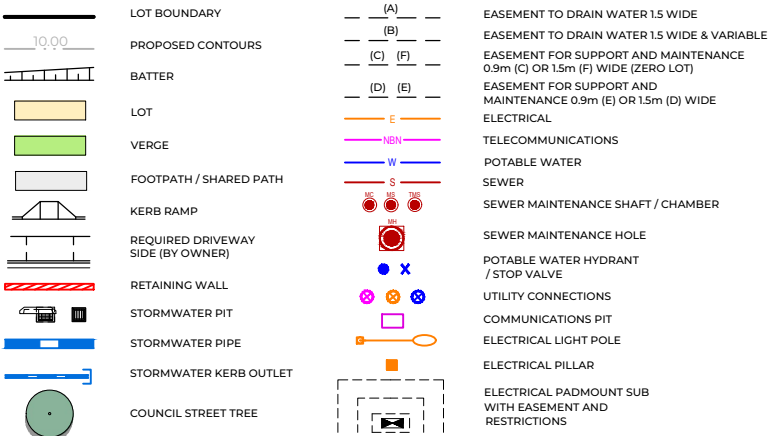
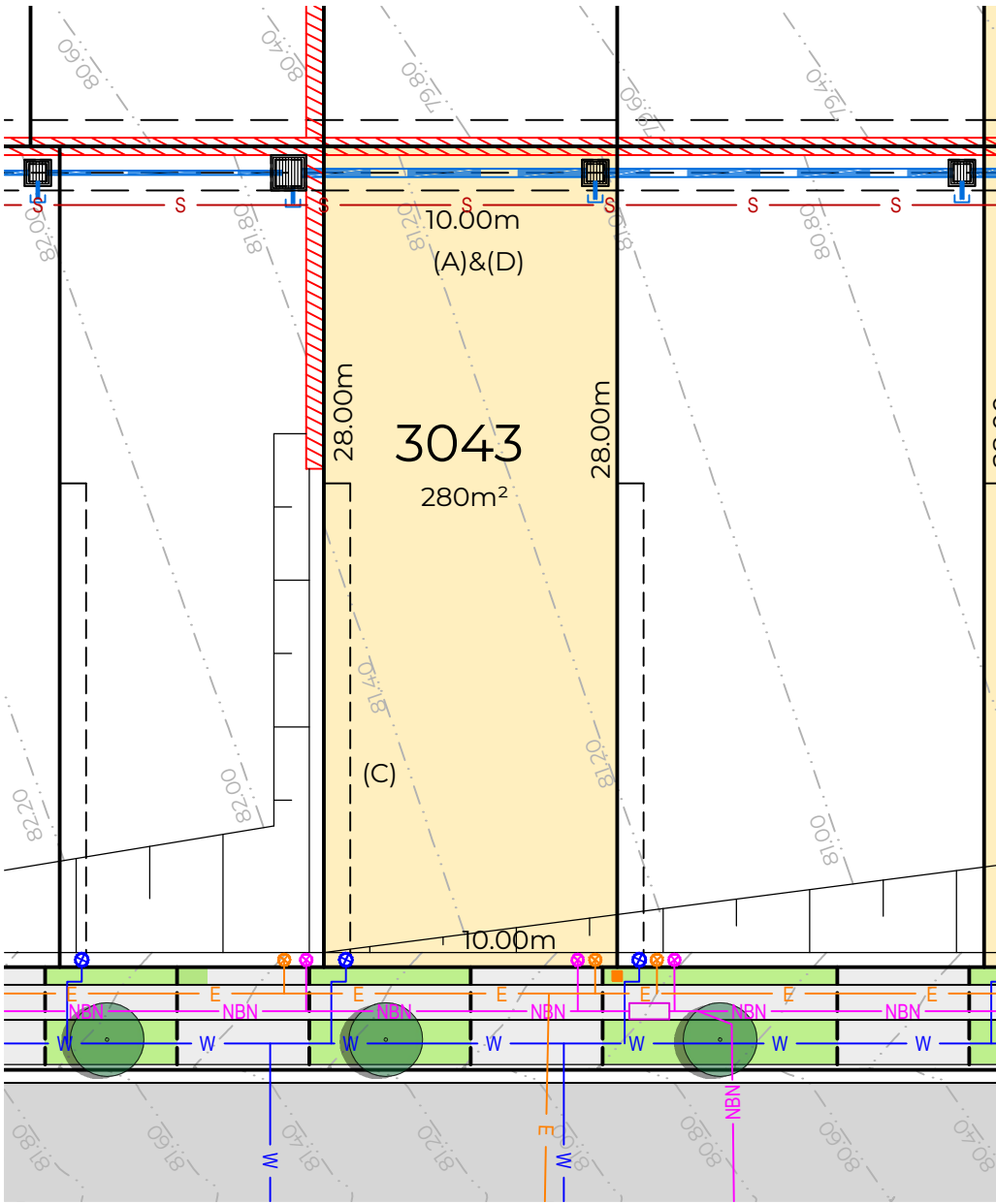
BIRLING

Lot Plan

02 9050 0555
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SALES CENTRE
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Lot 3043
STAGE 03 | THE HILLTOP



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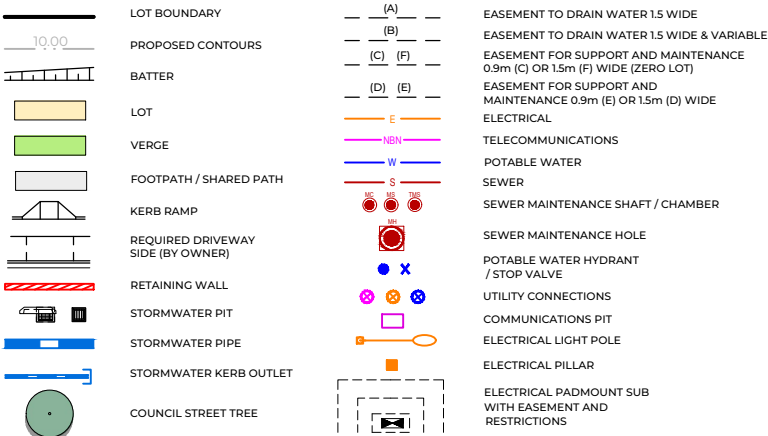
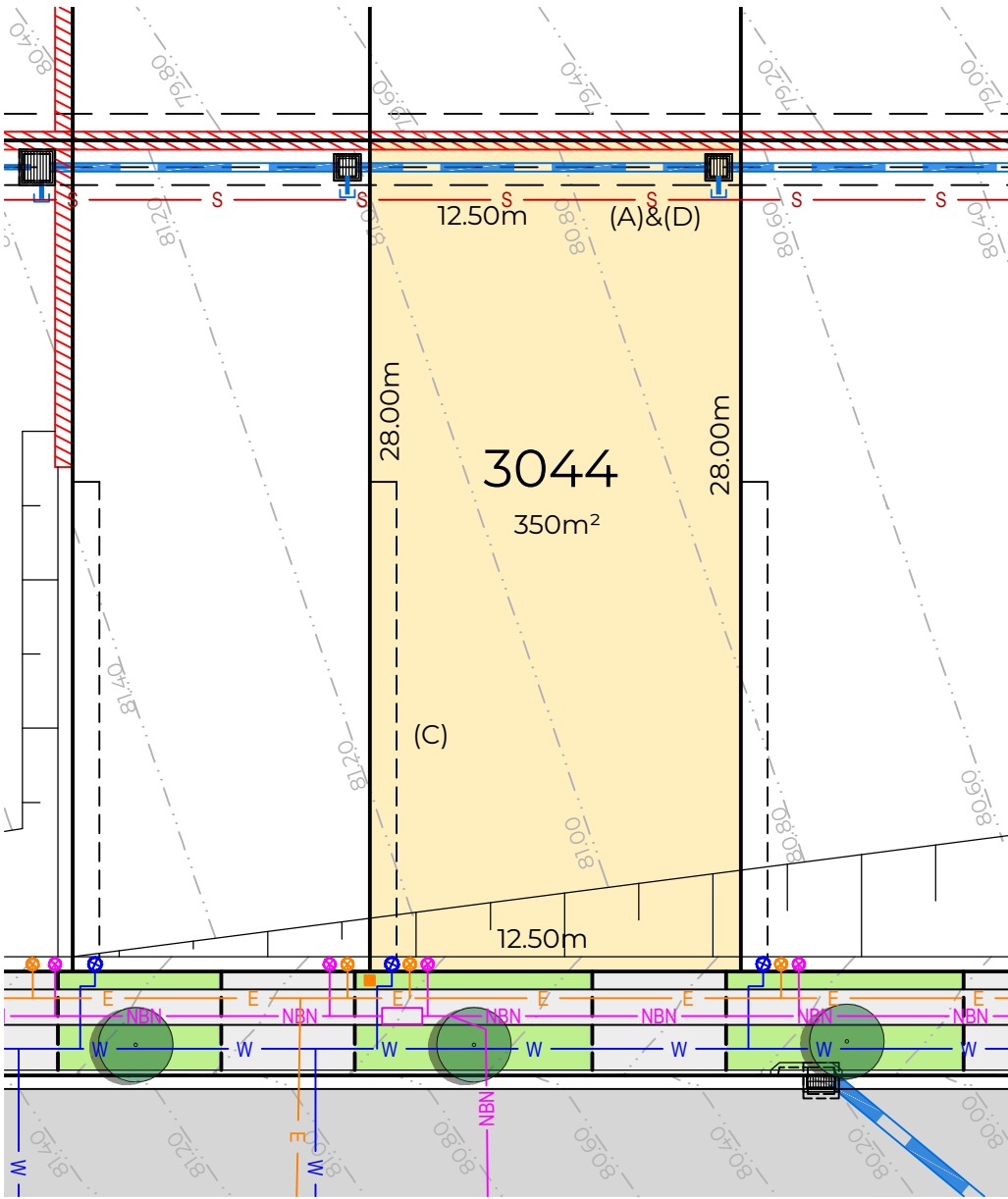
BIRLING

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SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3044
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



BIRLING

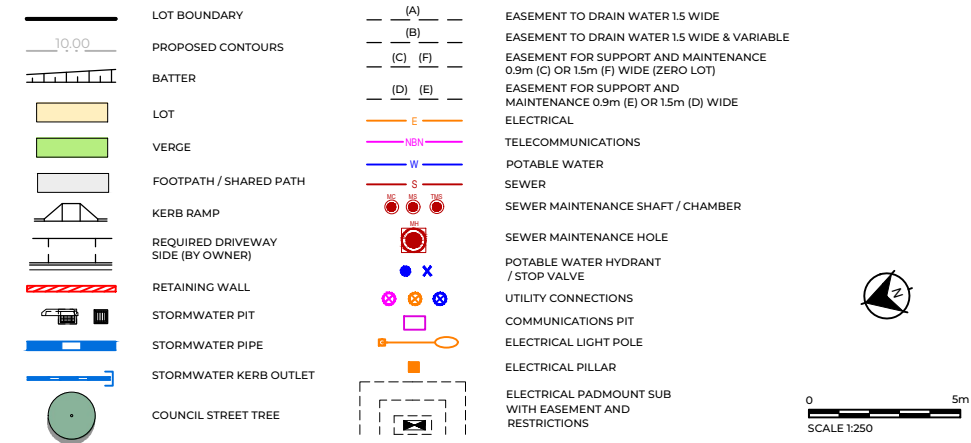
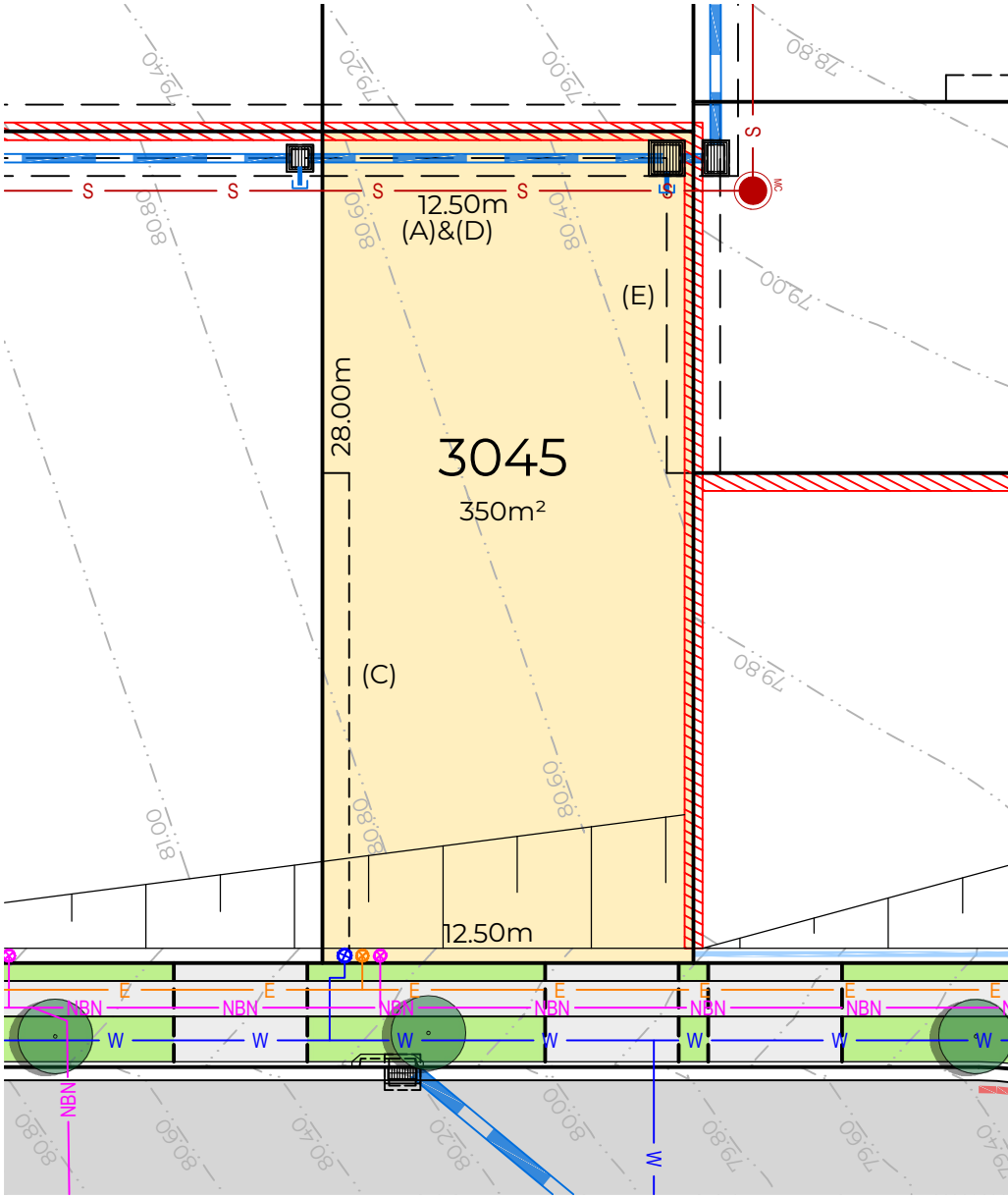
Lot Plan

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birlingcommunity.com.au
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Bringelly NSW 2556

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Lot 3045
STAGE 03 | THE HILLTOP



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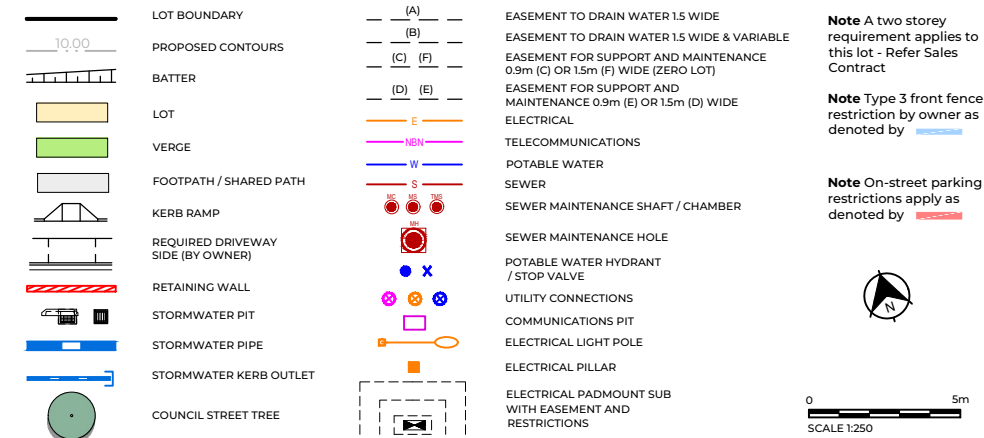
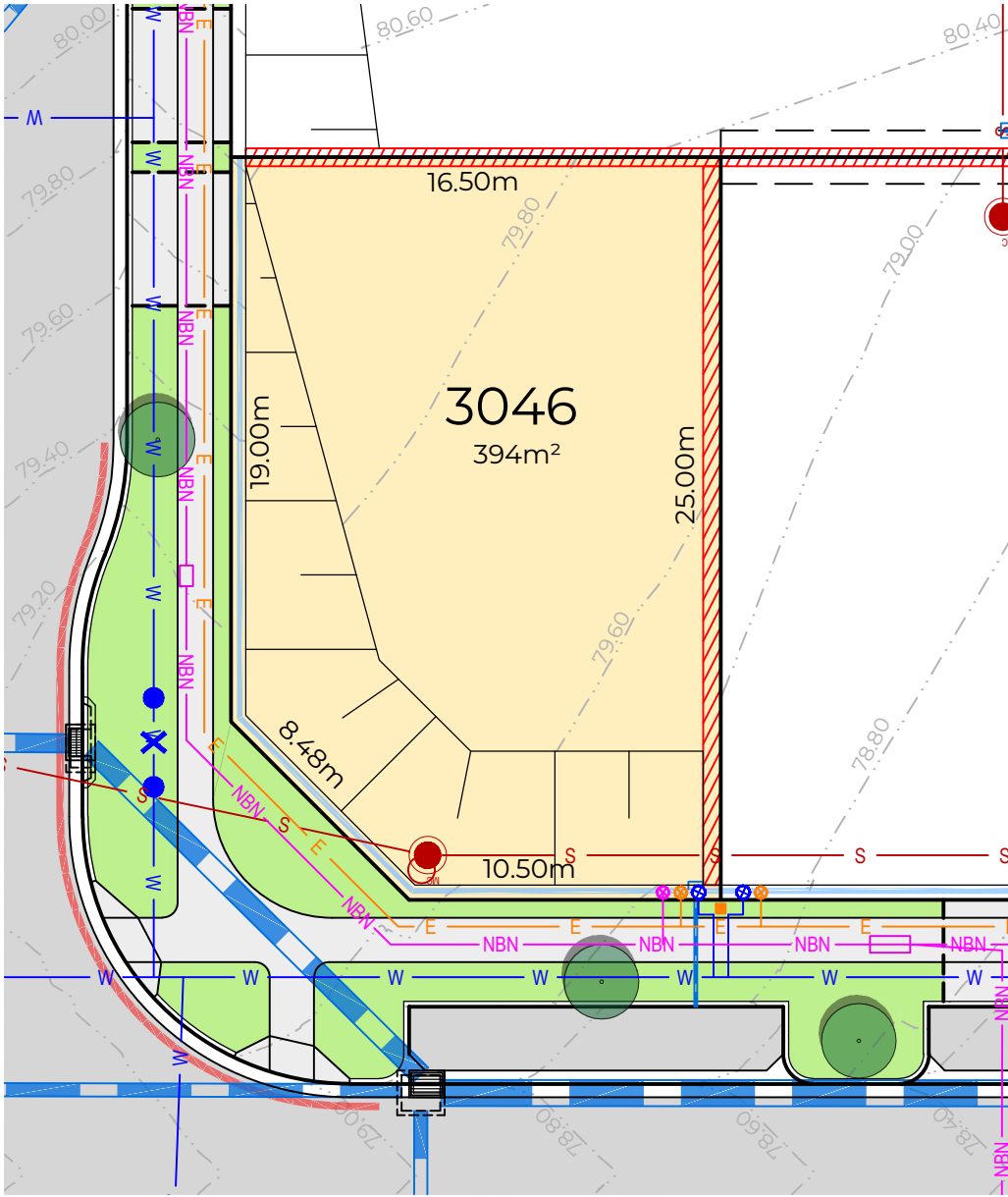
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Lot Plan

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birlingcommunity.com.au
SALES CENTRE
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Bringelly NSW 2556



Lot 3046
STAGE 03 | THE HILLTOP



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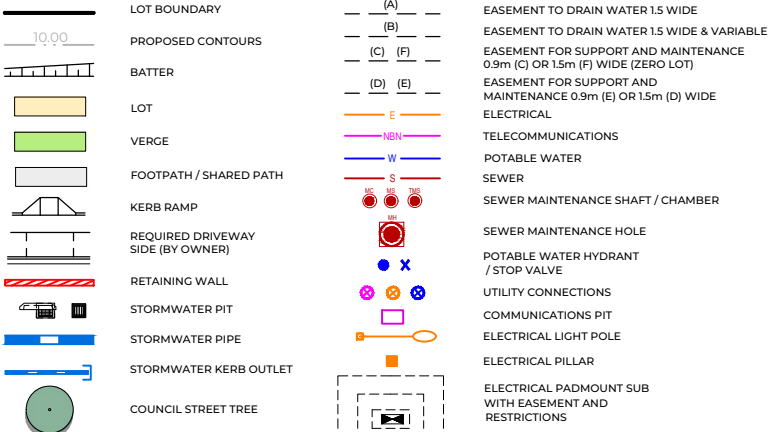
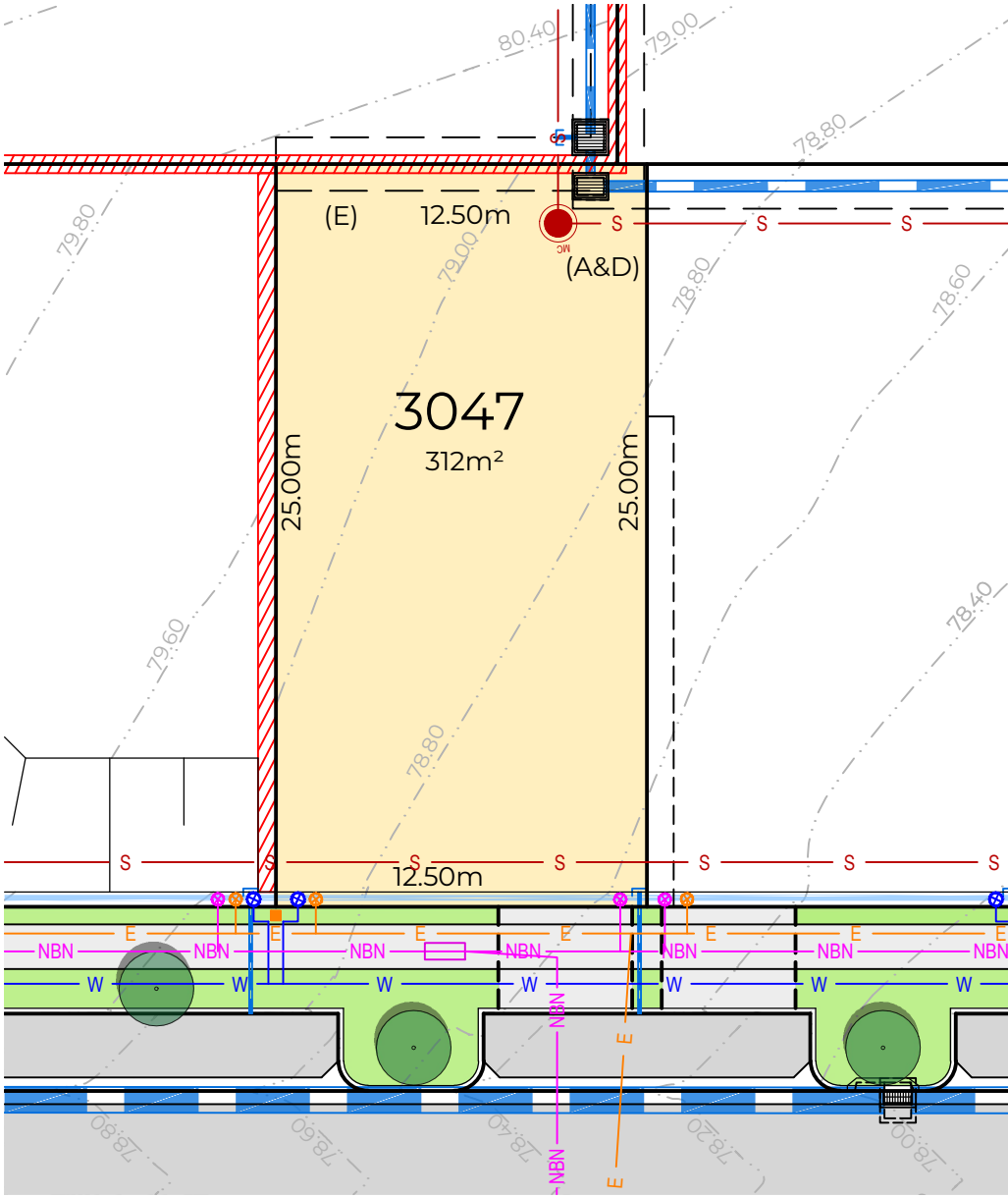
BIRLING

Lot Plan

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info@birlingcommunity.com.au
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SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3047
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250

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BIRLING

Lot Plan

02 9050 0555

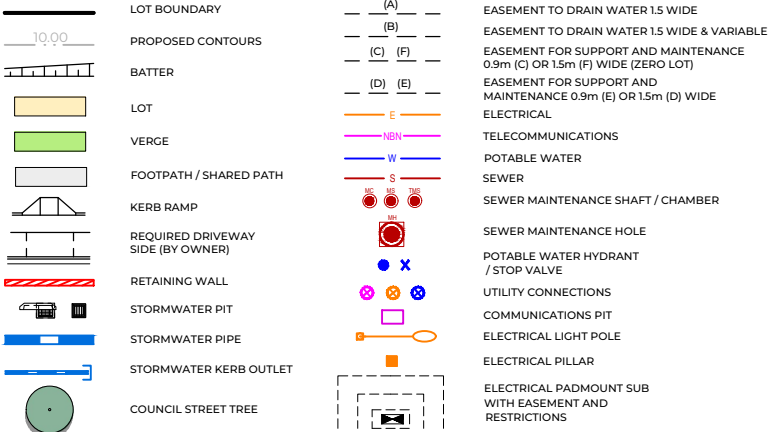
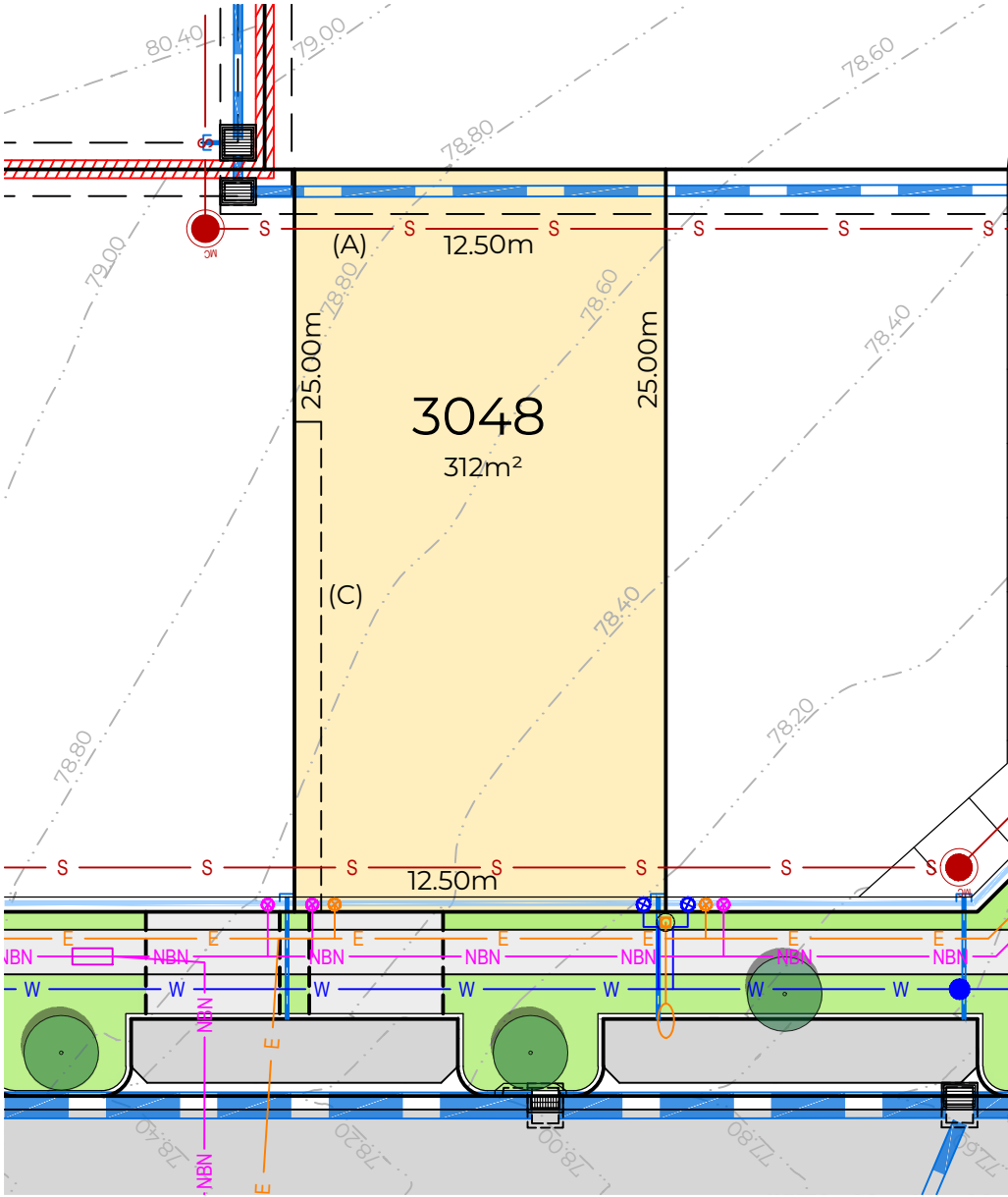
info@birlingcommunity.com.au
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SALES CENTRE

975 The Northern Road,
Bringelly NSW 2556



Lot 3048
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250

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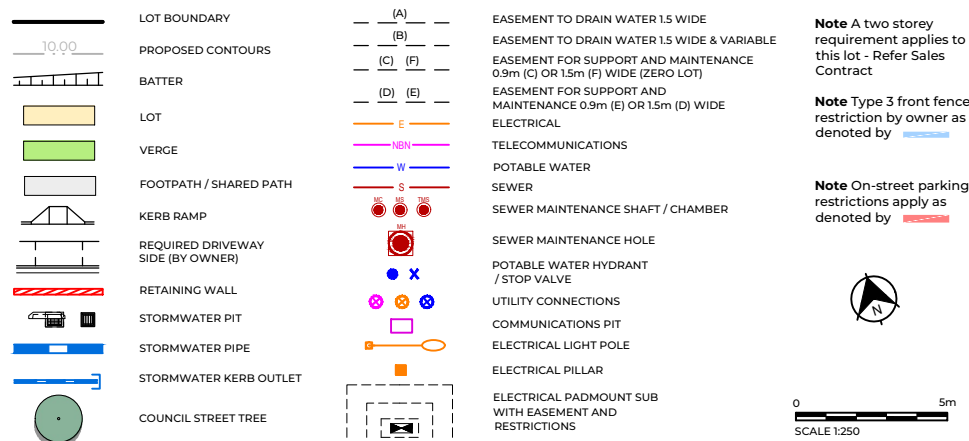
BIRLING

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SALES CENTRE
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STAGE 03 | THE HILLTOP



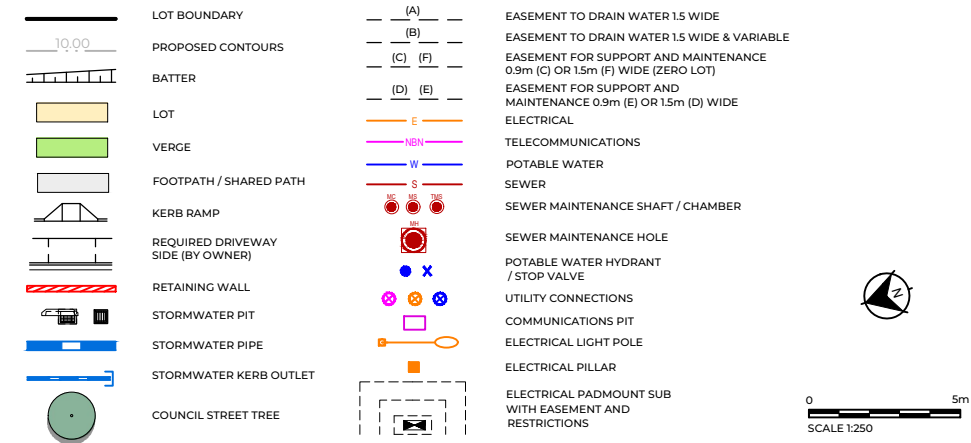
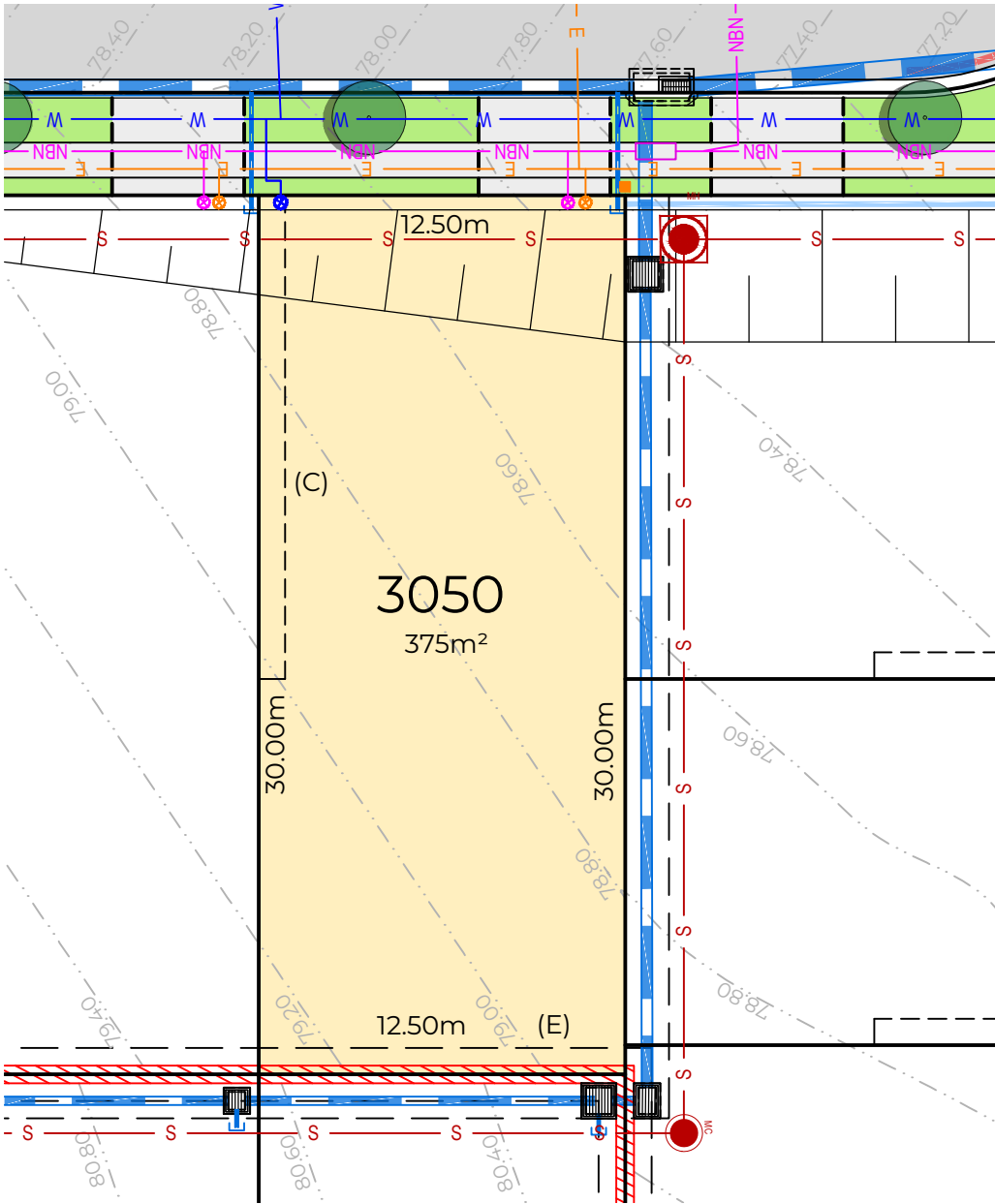
Cameron Brae
GROUP



BIRLING

Lot Plan

Lot 3050
STAGE 03 | THE HILLTOP



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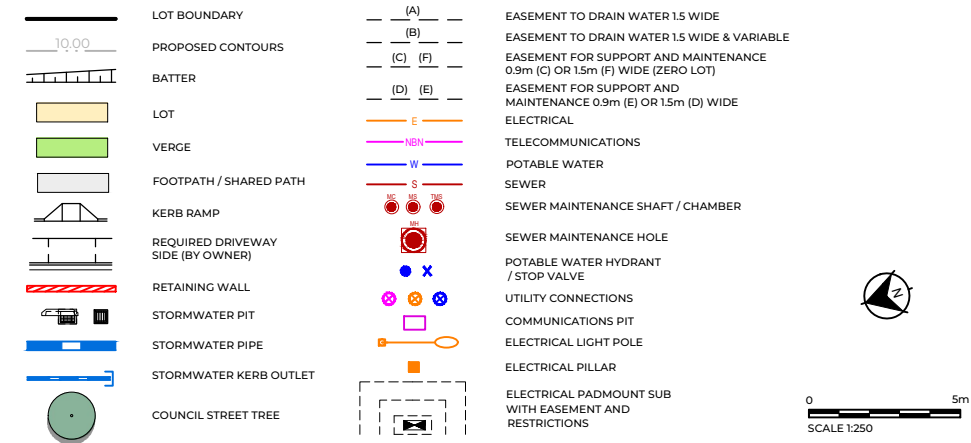
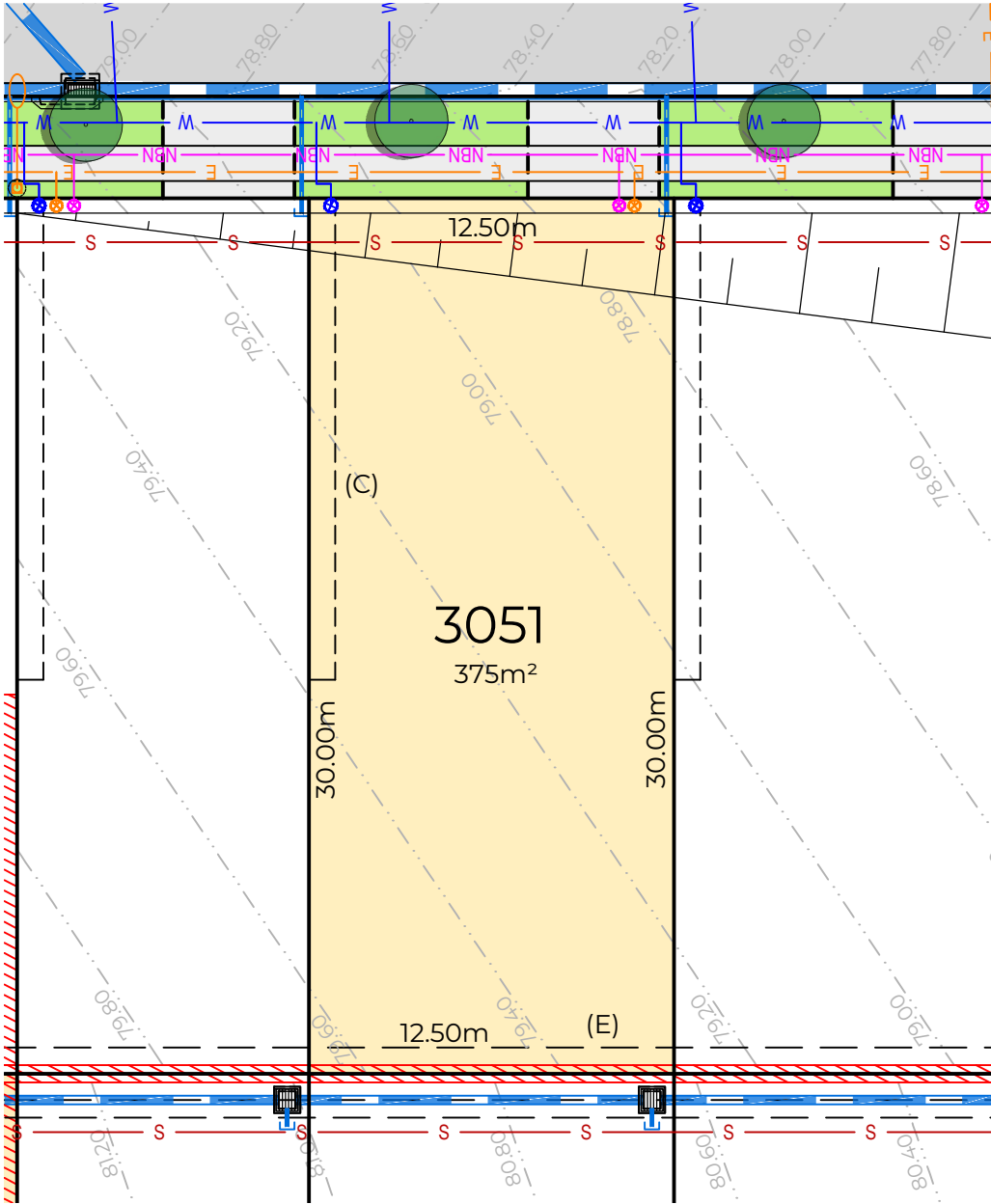
BIRLING

Lot Plan

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info@birlingcommunity.com.au
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SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3051
STAGE 03 | THE HILLTOP



BIRLING

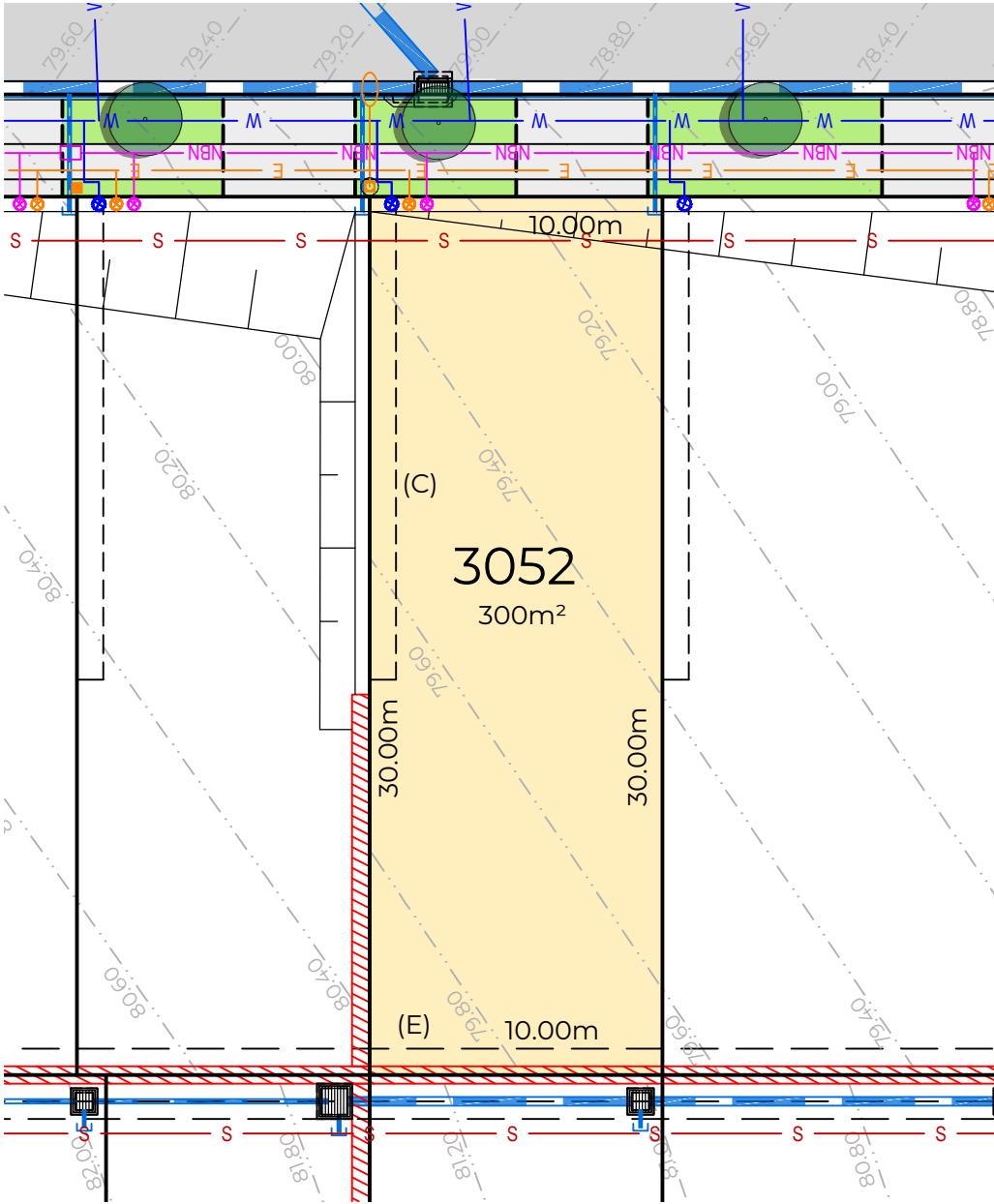
Lot Plan

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birlingcommunity.com.au
SALES CENTRE
975 The Northern Road,
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Lot 3052
STAGE 03 | THE HILLTOP



	LOT BOUNDARY		EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		ELECTRICAL
	FOOTPATH / SHARED PATH		TELECOMMUNICATIONS
	KERB RAMP		POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		SEWER
	RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT		SEWER MAINTENANCE HOLE
	STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET		UTILITY CONNECTIONS
	COUNCIL STREET TREE		COMMUNICATIONS PIT
			ELECTRICAL LIGHT POLE
			ELECTRICAL PILLAR
			ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0 5m
SCALE 1:250



BIRLING

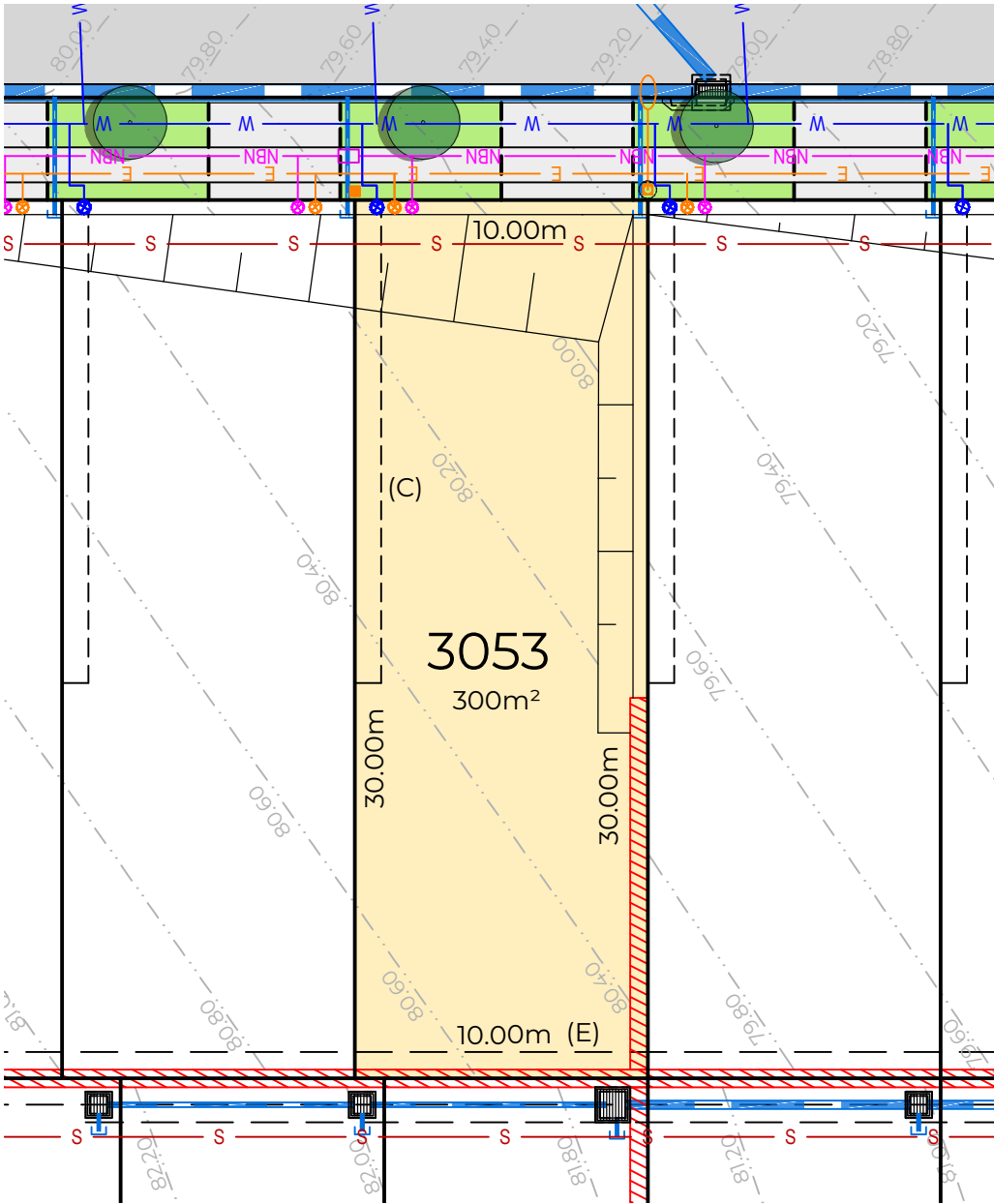
Lot Plan

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SALES CENTRE
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Lot 3053
STAGE 03 | THE HILLTOP



	LOT BOUNDARY		EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		ELECTRICAL
	FOOTPATH / SHARED PATH		TELECOMMUNICATIONS
	KERB RAMP		POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		SEWER
	RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT		SEWER MAINTENANCE HOLE
	STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET		UTILITY CONNECTIONS
	COUNCIL STREET TREE		COMMUNICATIONS PIT
			ELECTRICAL LIGHT POLE
			ELECTRICAL PILLAR
			ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0 5m
SCALE 1:250



BIRLING

Lot Plan

02 9050 0555

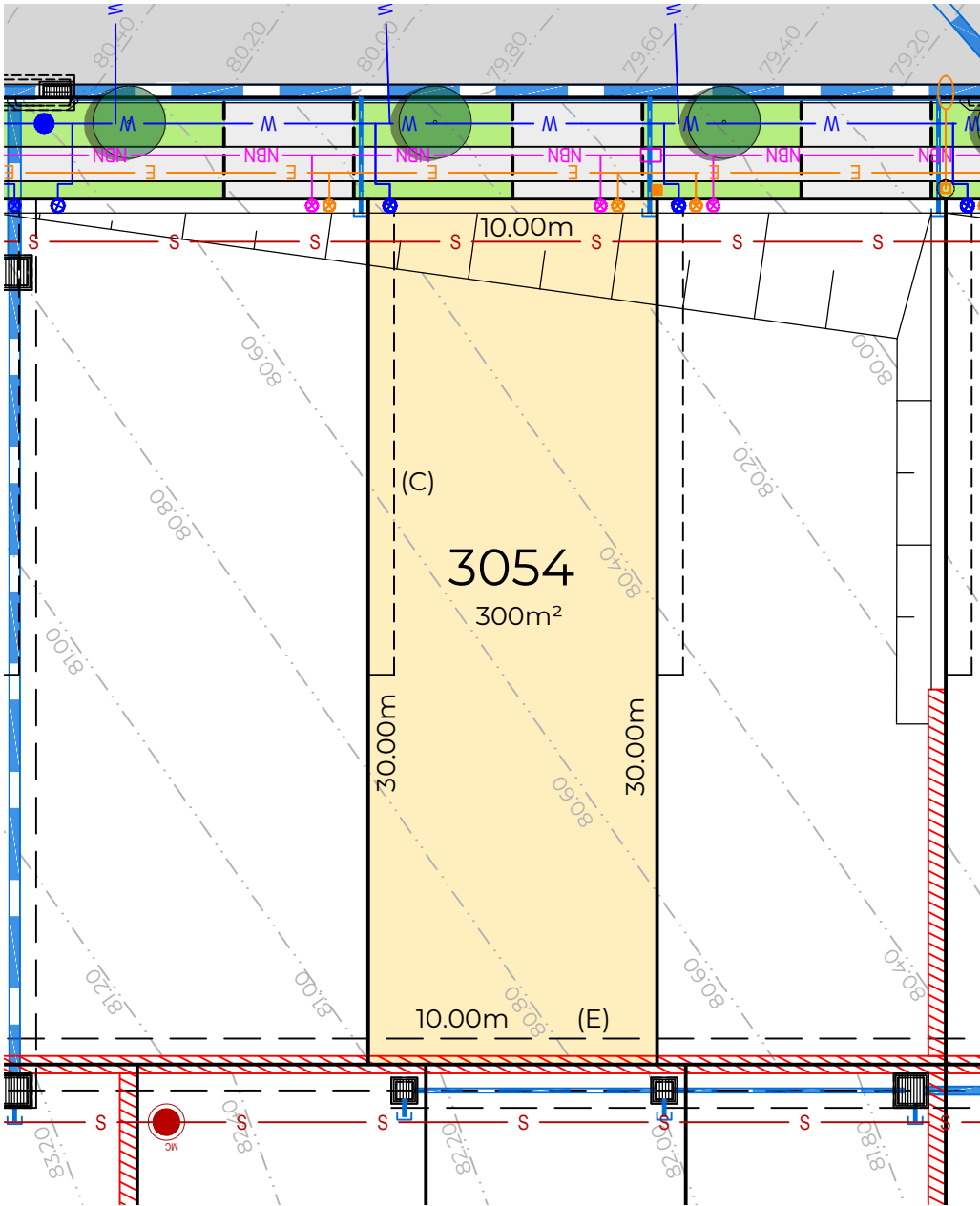
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SALES CENTRE

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Bringelly NSW 2556

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Lot 3054
STAGE 03 | THE HILLTOP



	LOT BOUNDARY		EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		ELECTRICAL
	FOOTPATH / SHARED PATH		TELECOMMUNICATIONS
	KERB RAMP		POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		SEWER
	RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT		SEWER MAINTENANCE HOLE
	STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET		UTILITY CONNECTIONS
	COUNCIL STREET TREE		COMMUNICATIONS PIT
			ELECTRICAL LIGHT POLE
			ELECTRICAL PILLAR
			ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0 5m
SCALE 1:250



BIRLING

Lot Plan

02 9050 0555

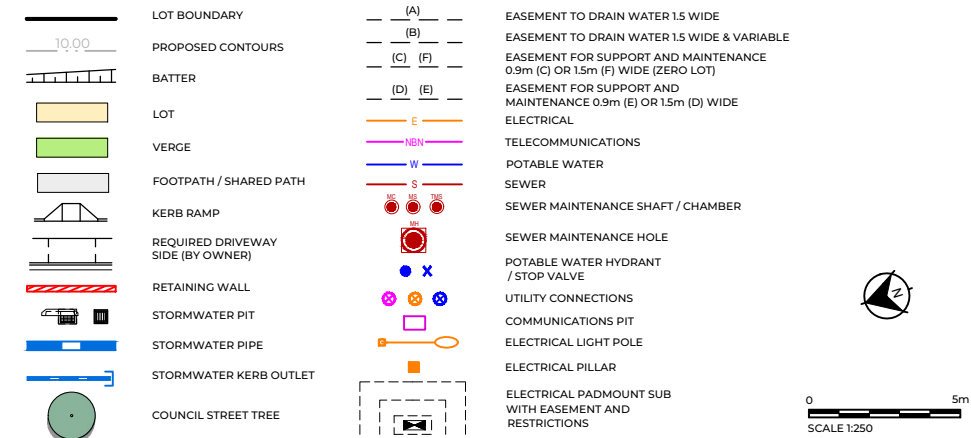
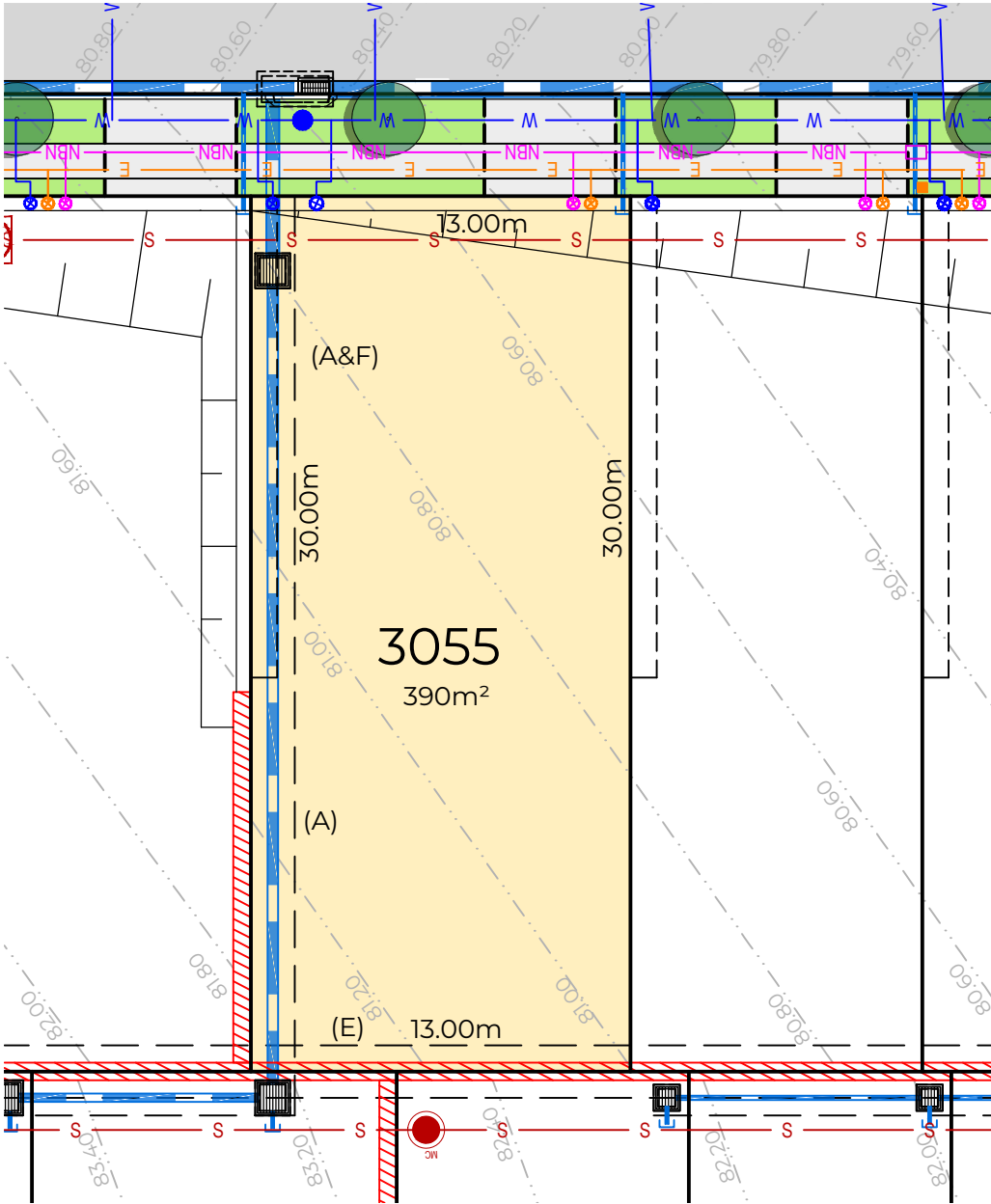
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SALES CENTRE

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Lot 3055
STAGE 03 | THE HILLTOP



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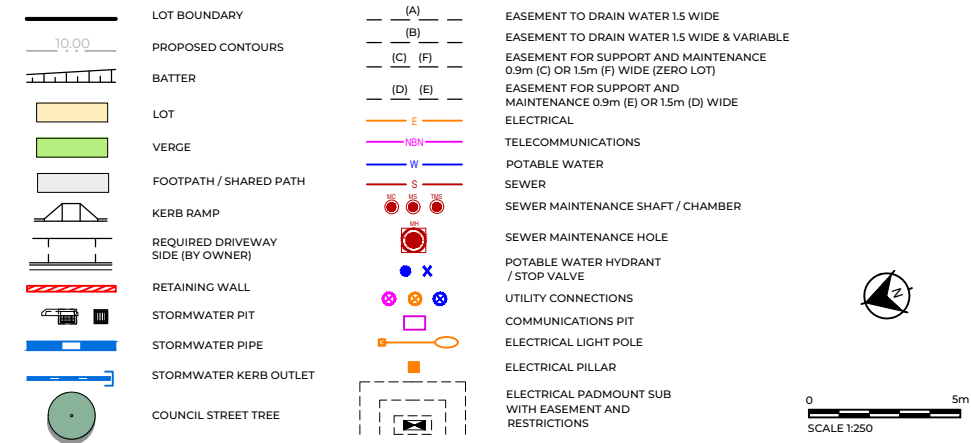
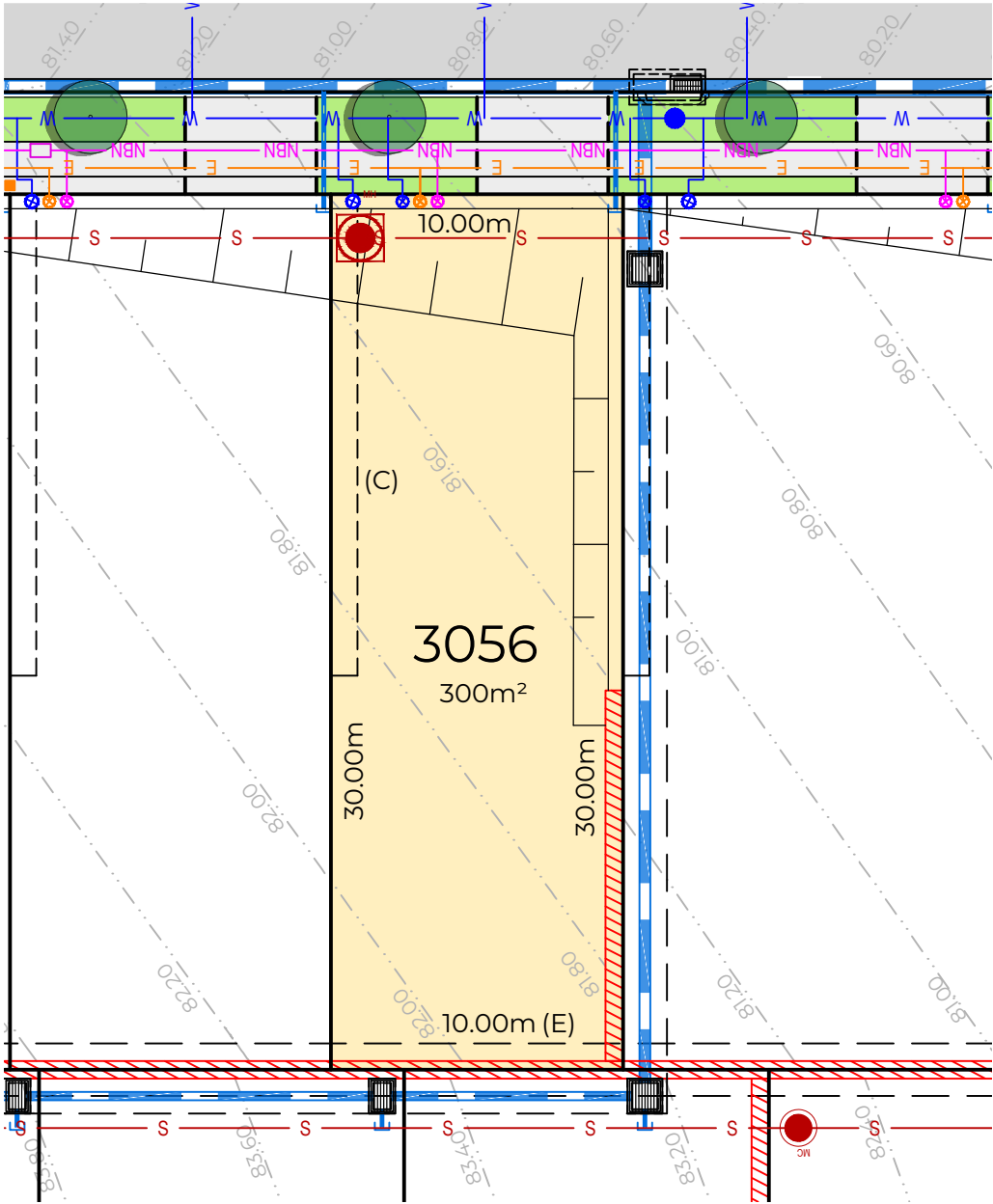
BIRLING

Lot Plan

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birlingcommunity.com.au
SALES CENTRE
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Bringelly NSW 2556



Lot 3056
STAGE 03 | THE HILLTOP



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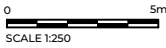
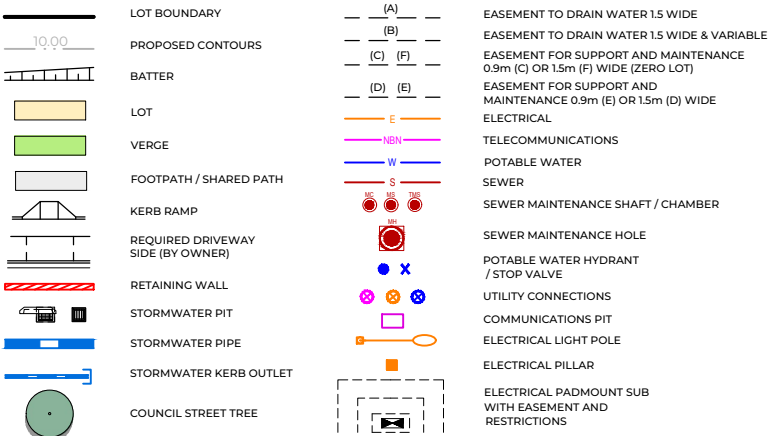
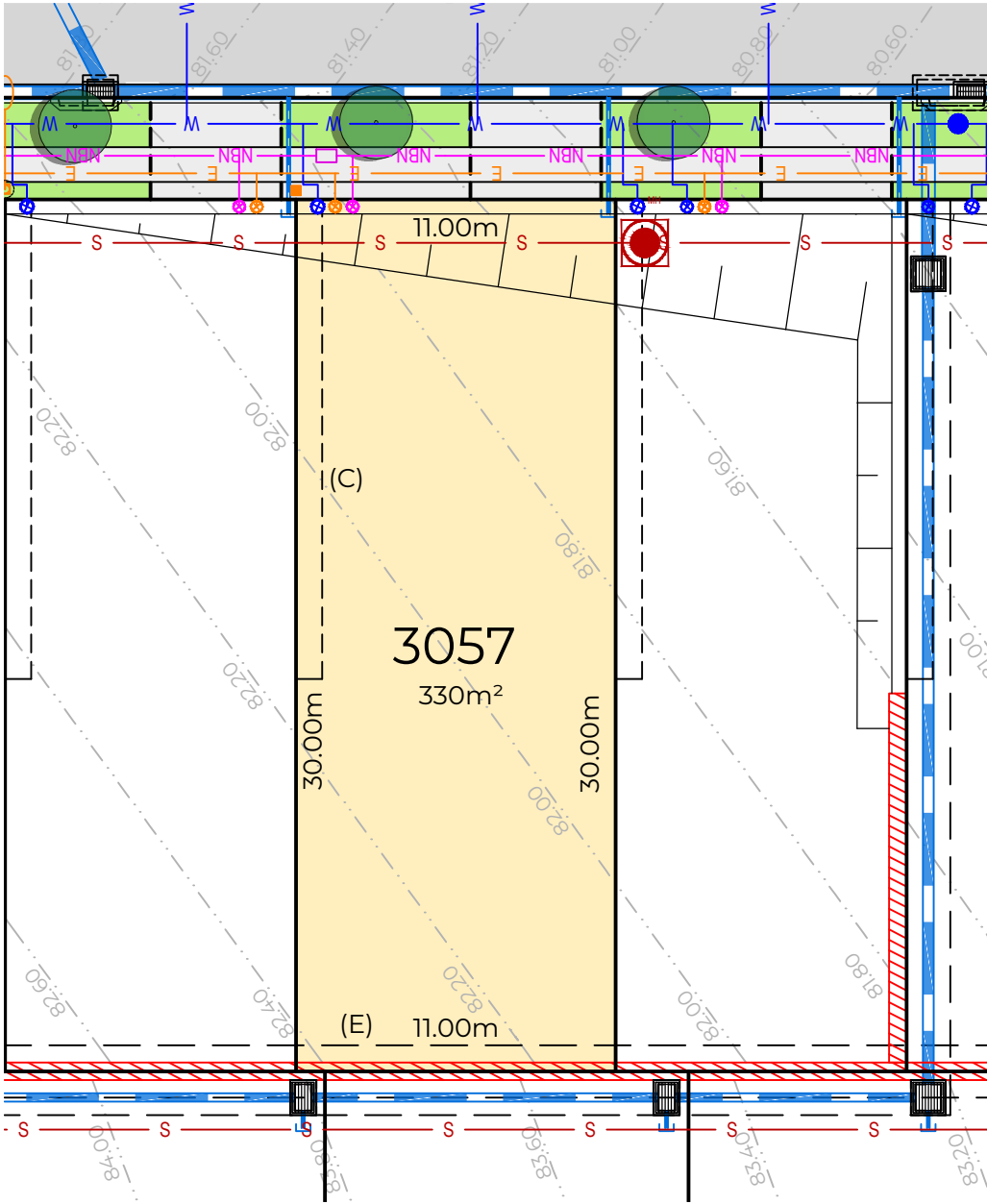
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Lot Plan

02 9050 0555
info@birlingcommunity.com.au
birlingcommunity.com.au
SALES CENTRE
975 The Northern Road,
Bringelly NSW 2556



Lot 3057
STAGE 03 | THE HILLTOP



BIRLING

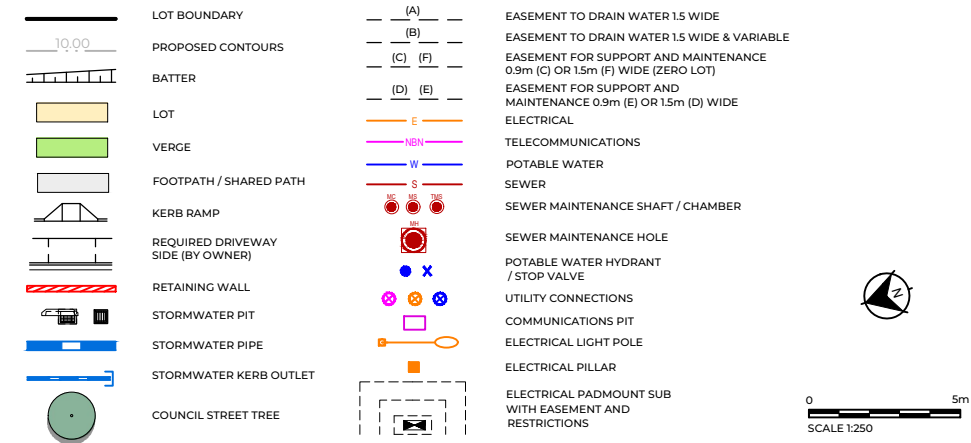
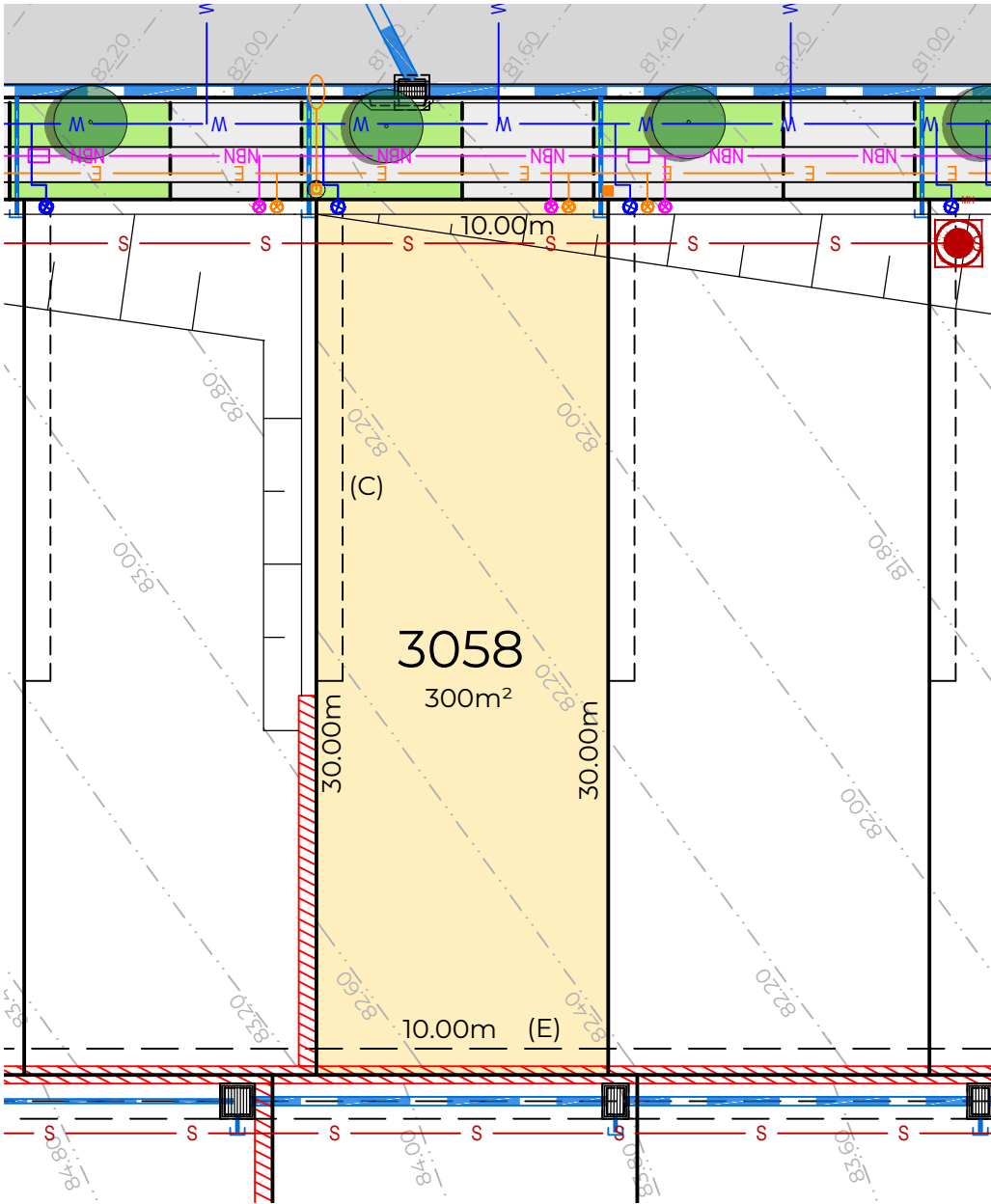
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Lot 3058
STAGE 03 | THE HILLTOP



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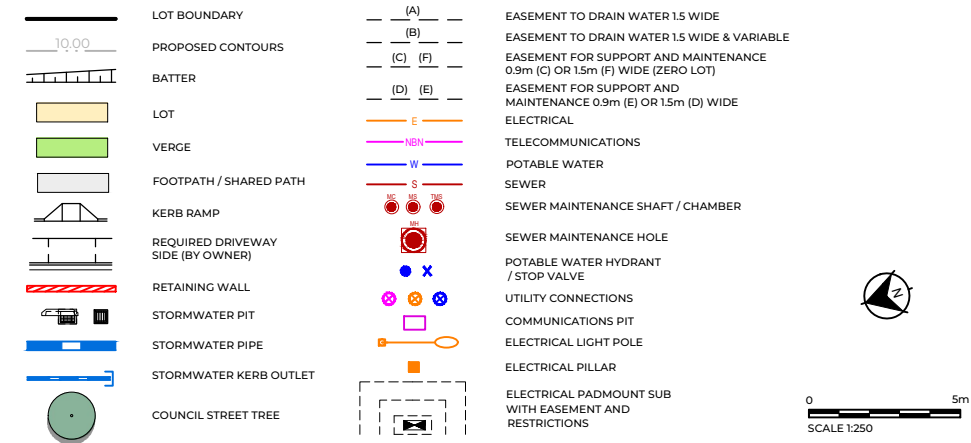
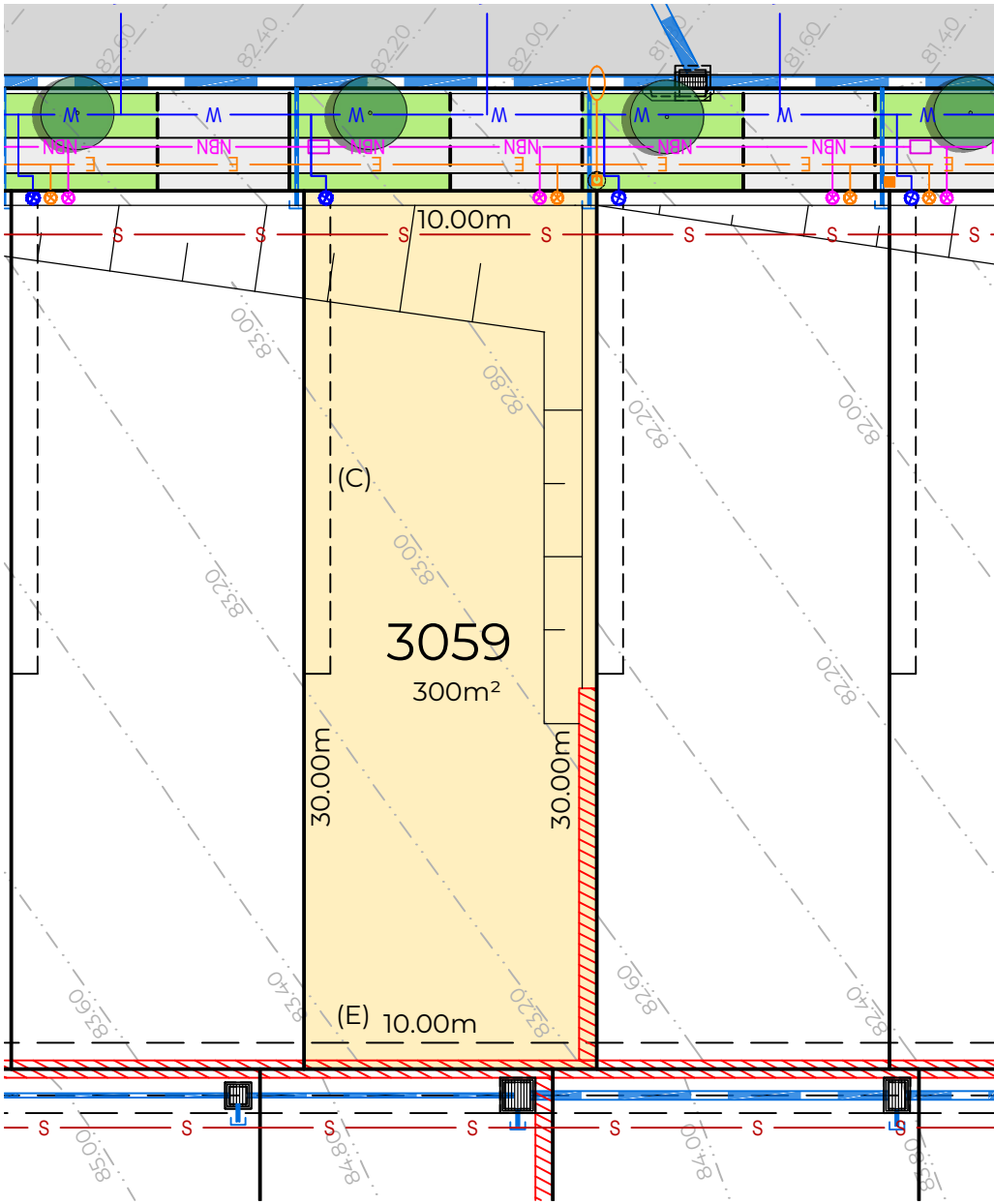
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Lot 3059
STAGE 03 | THE HILLTOP



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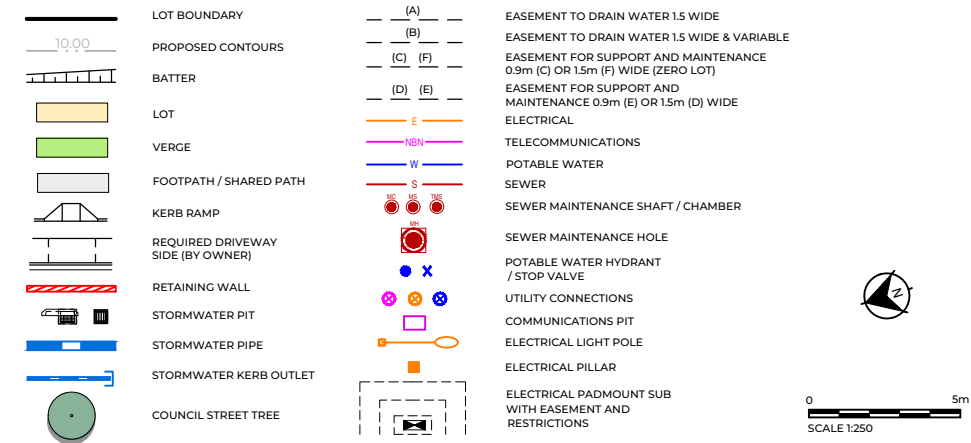
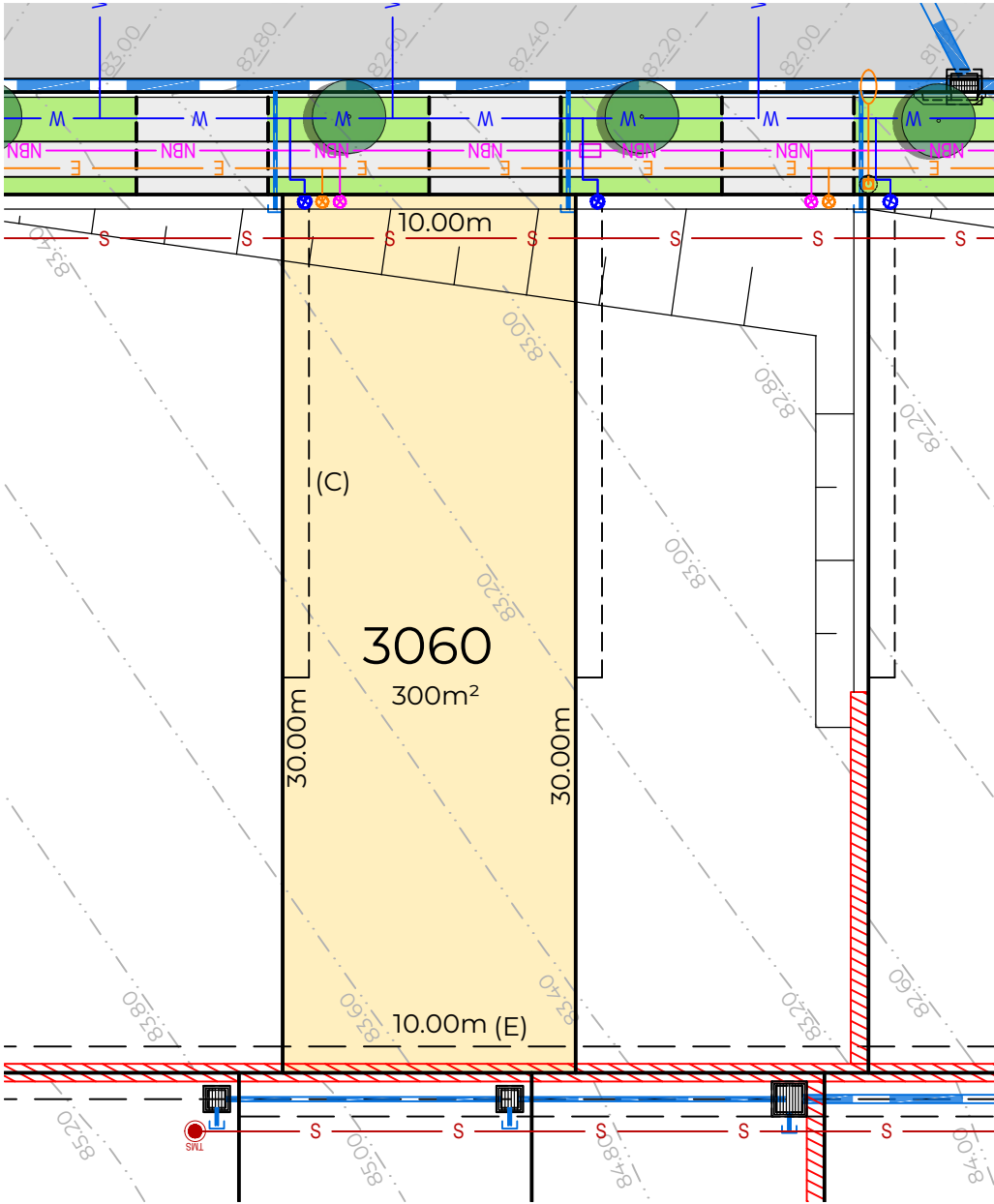
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Lot 3060

STAGE 03 | THE HILLTOP



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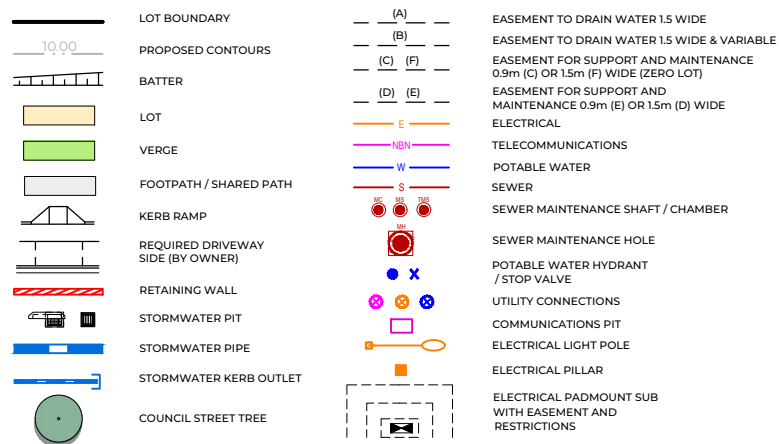
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STAGE 03 | THE HILLTOP



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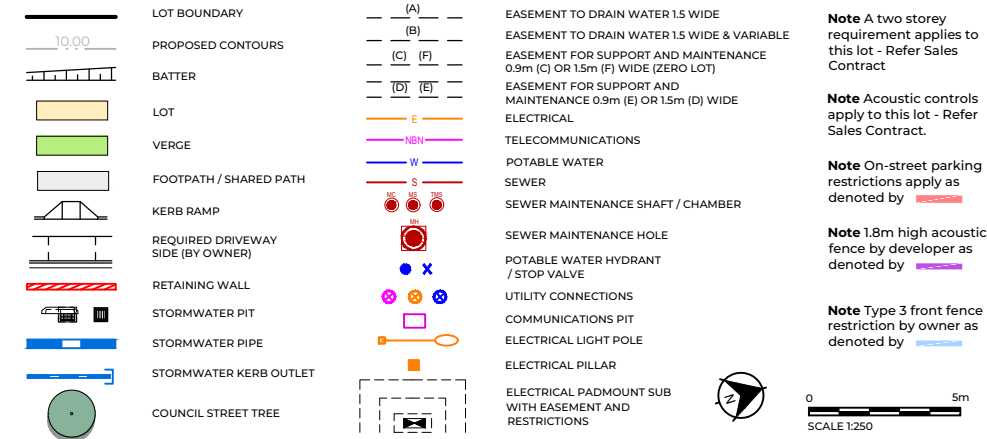
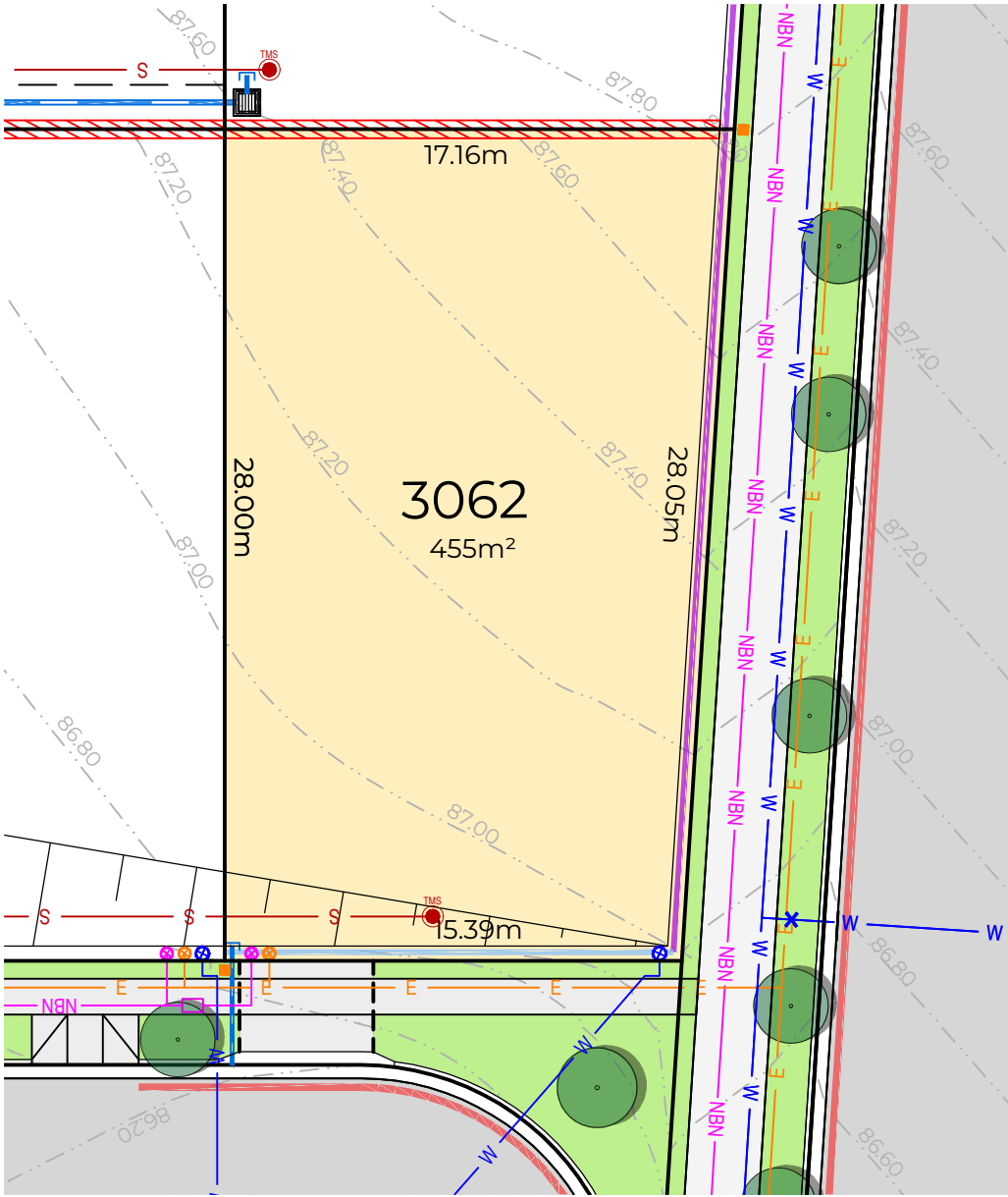
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Lot Plan



Cameron Brae
GROUP

Lot 3062
STAGE 03 | THE HILLTOP



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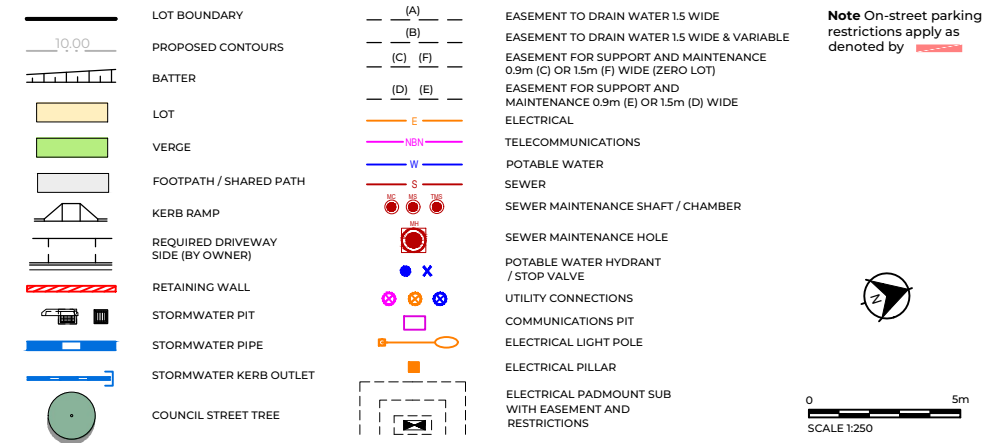
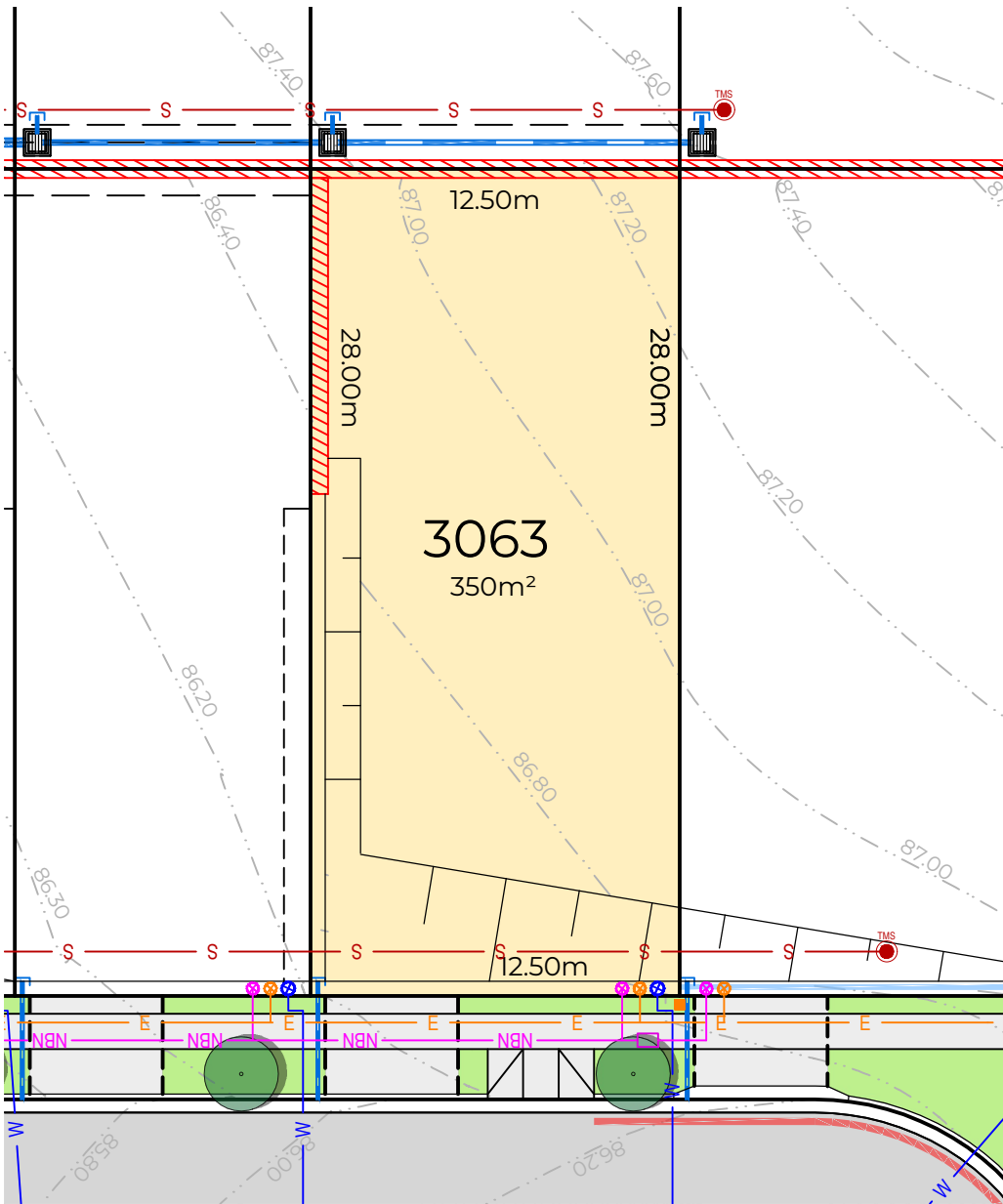
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Lot 3063
STAGE 03 | THE HILLTOP



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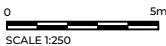
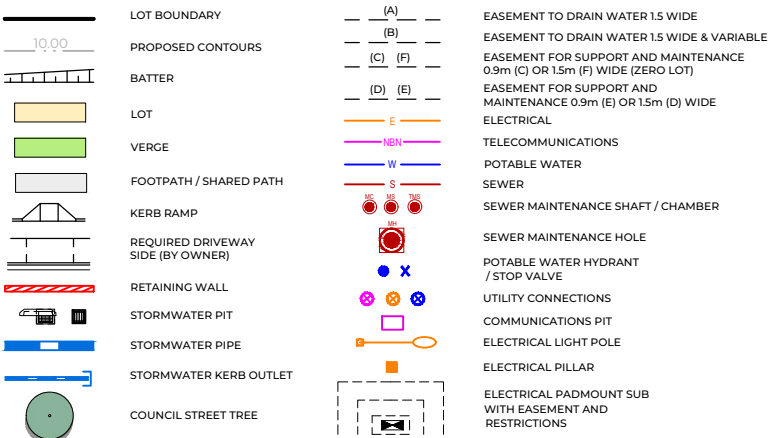
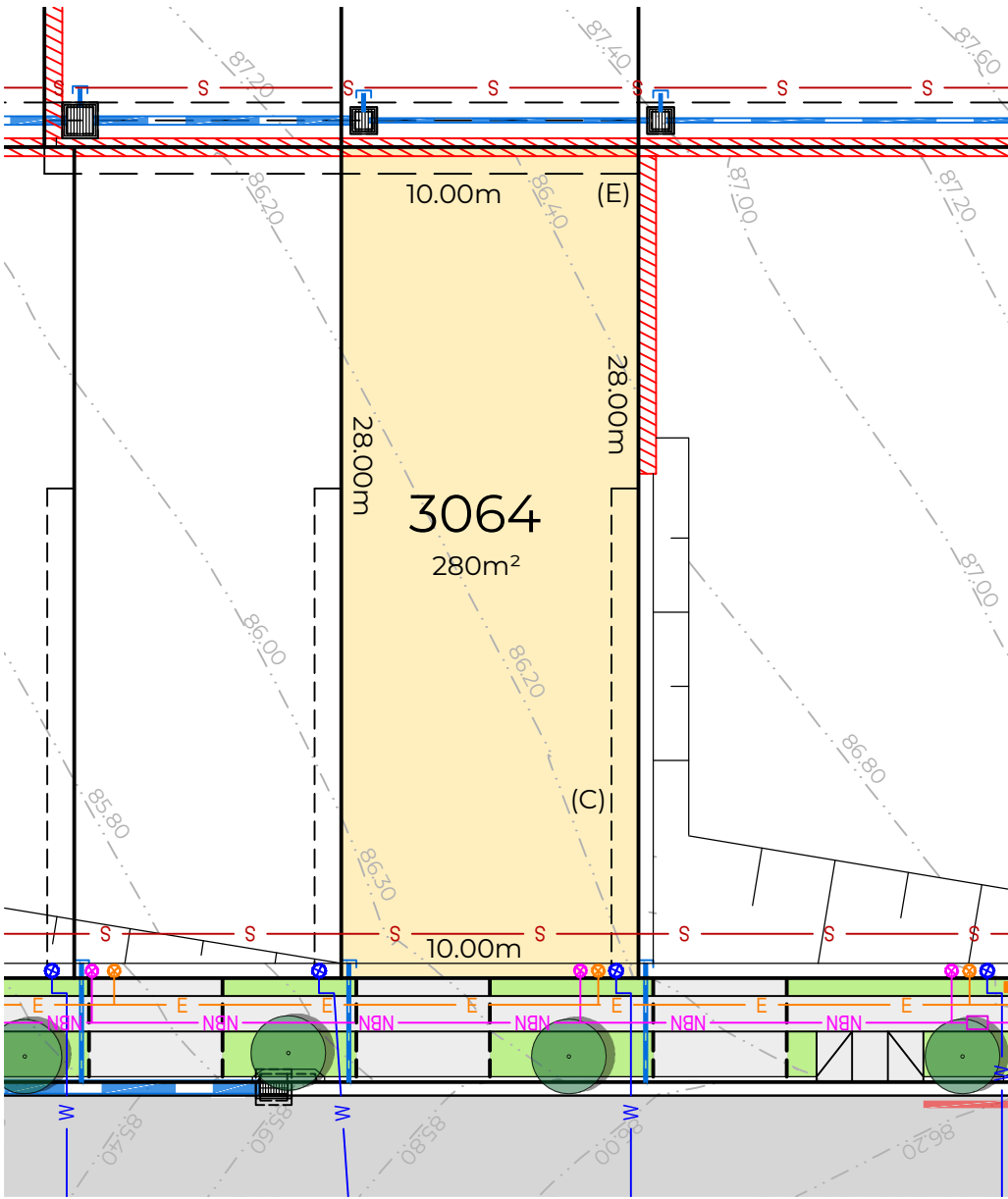
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Lot 3064
STAGE 03 | THE HILLTOP



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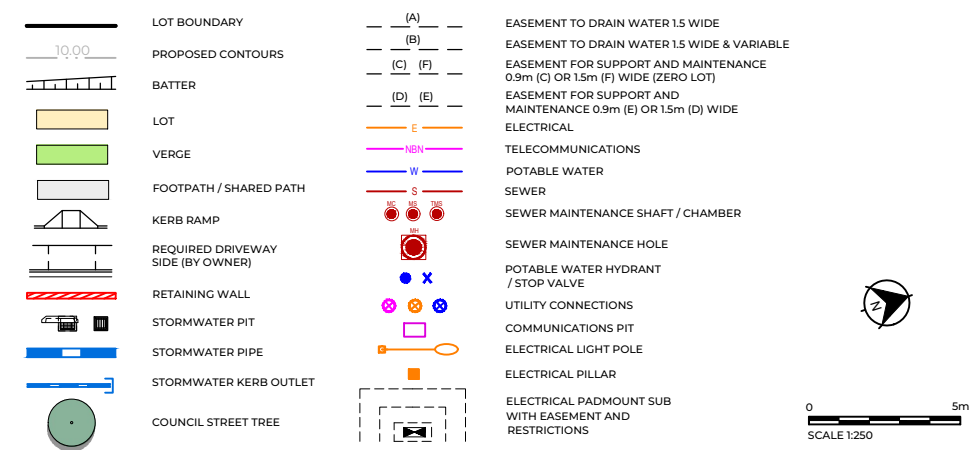
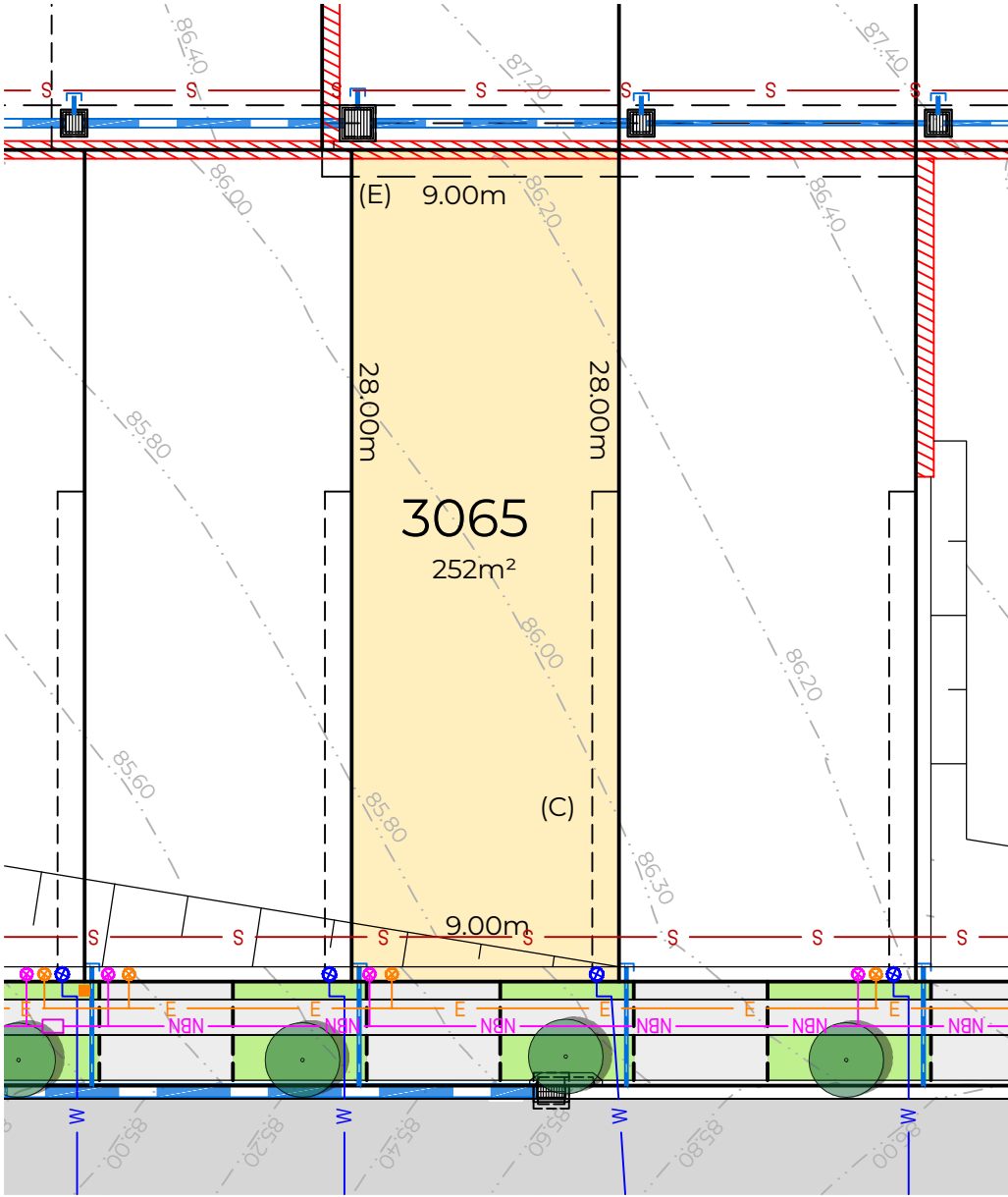
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Lot 3065
STAGE 03 | THE HILLTOP



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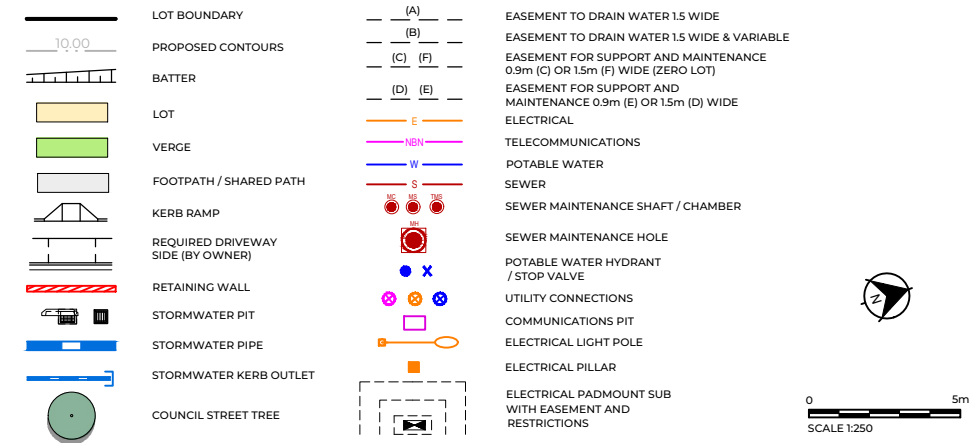
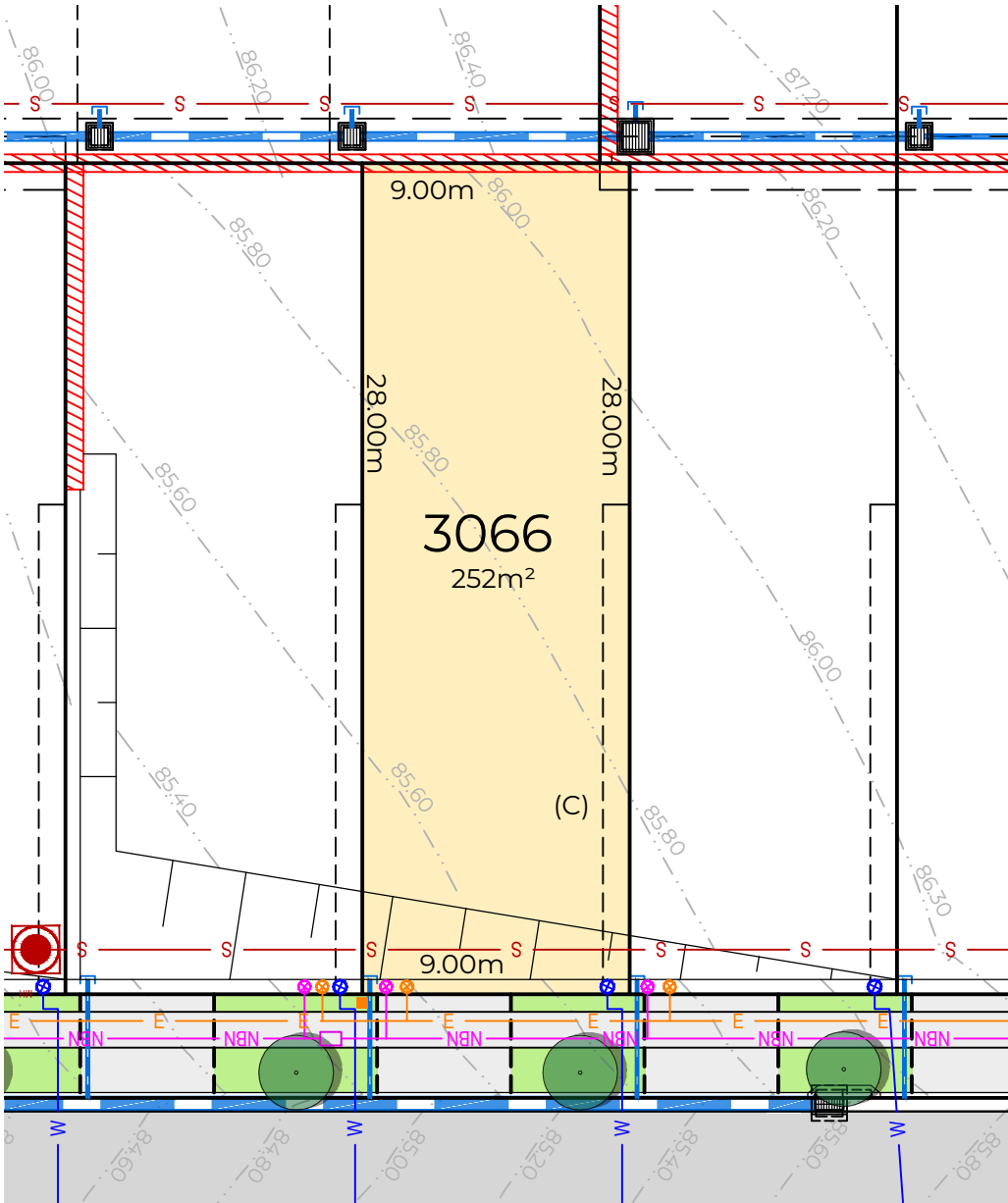
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Lot 3066
STAGE 03 | THE HILLTOP



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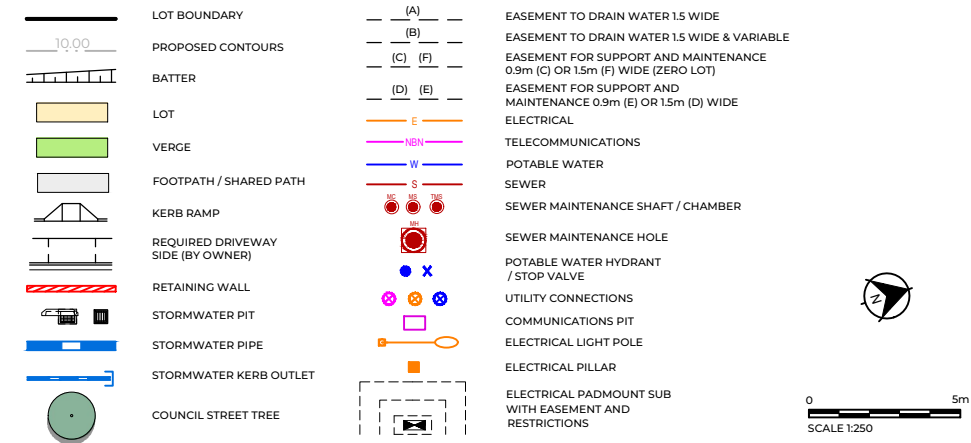
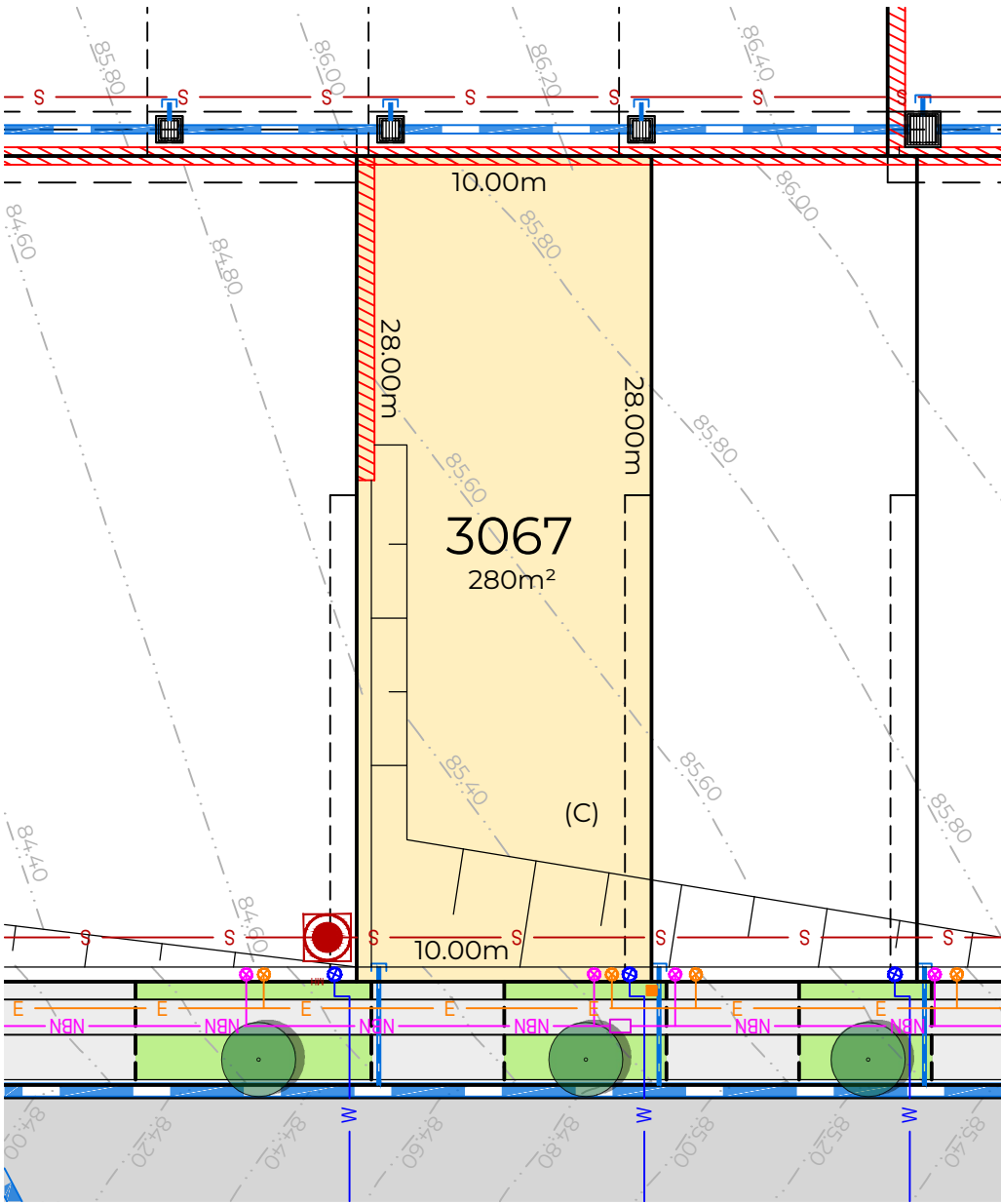
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Lot 3067
STAGE 03 | THE HILLTOP



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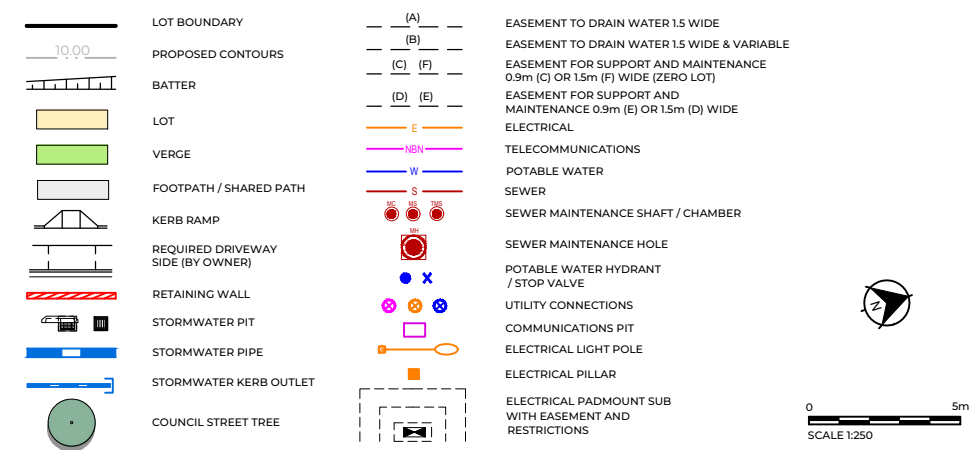
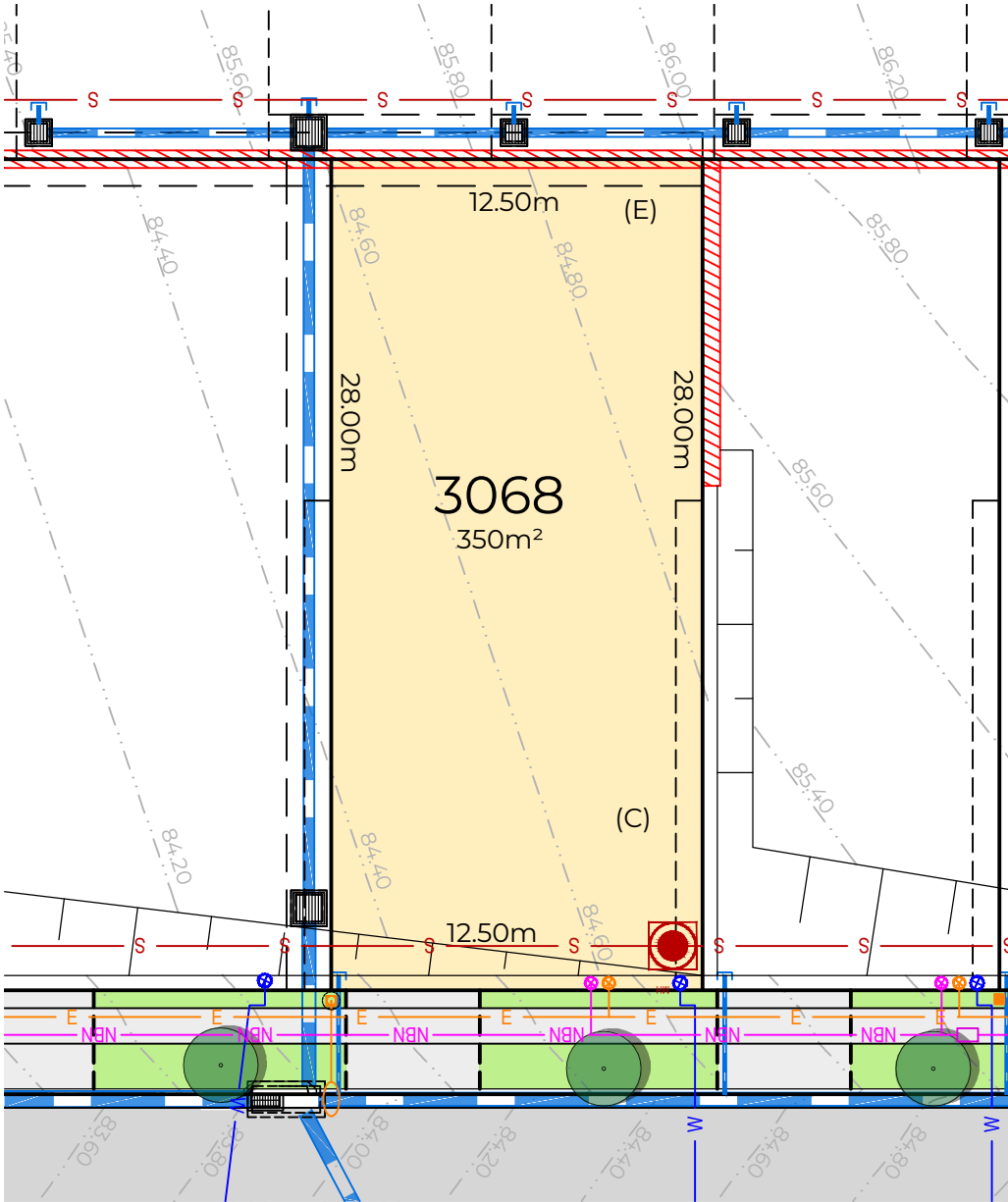
Lot Plan

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Lot 3068
STAGE 03 | THE HILLTOP



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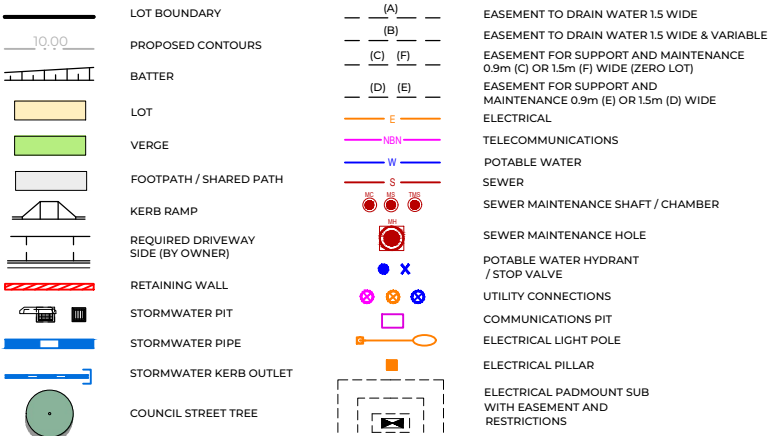
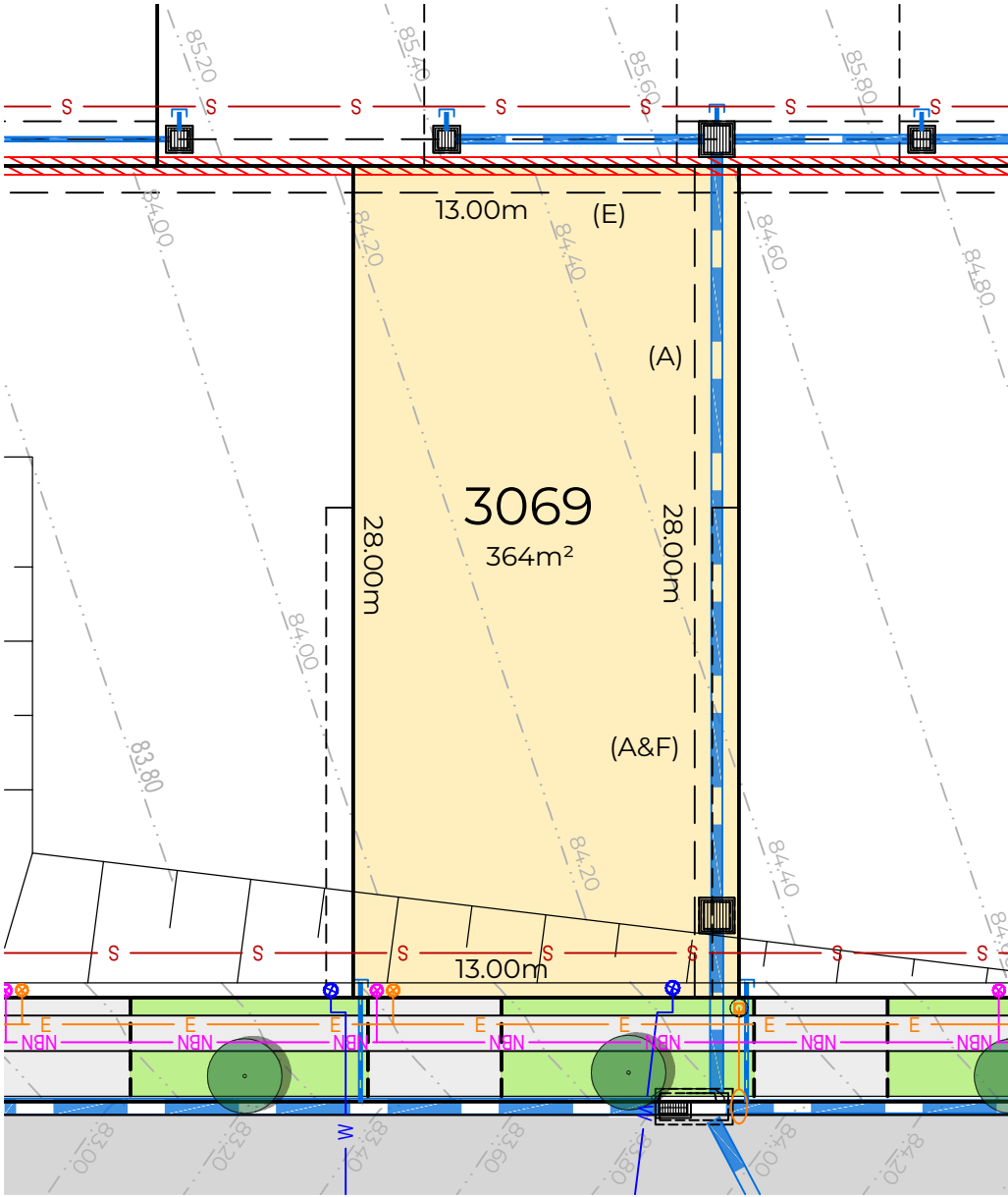
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Lot 3069
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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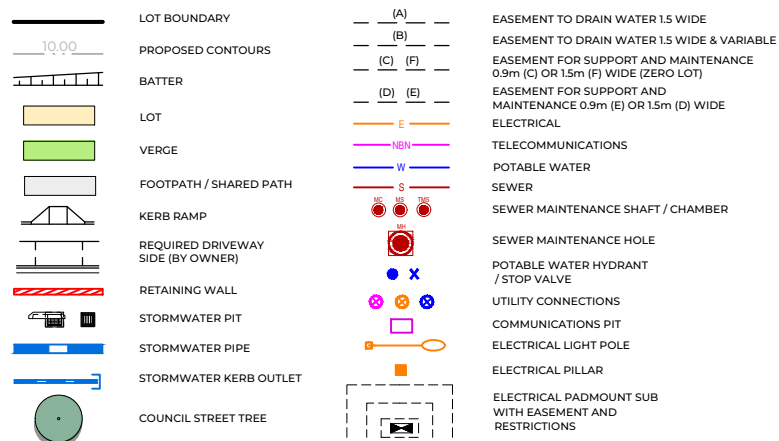
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STAGE 03 | THE HILLTOP



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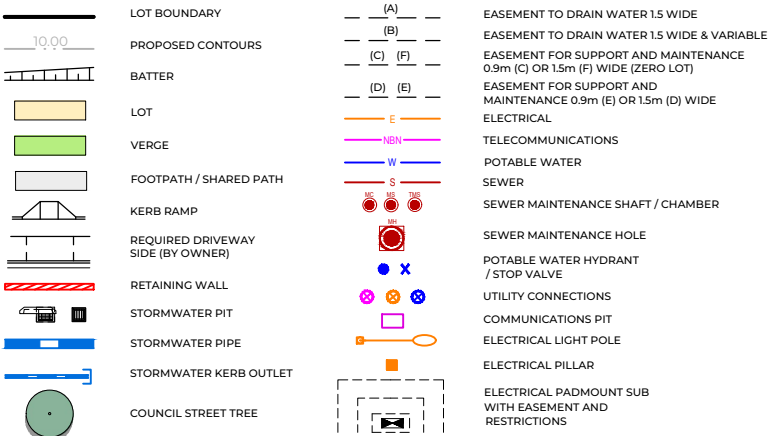
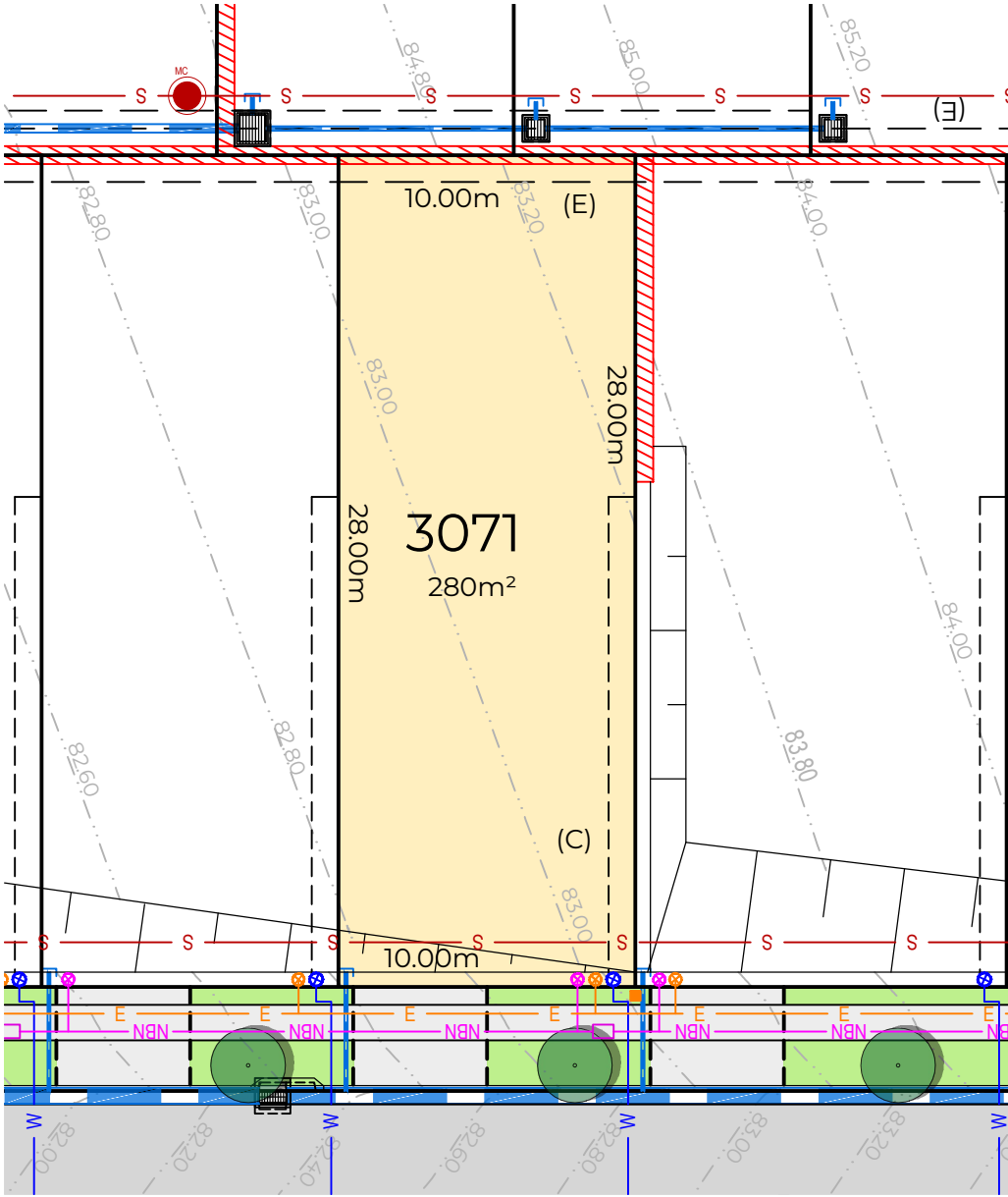
975 The Northern Road,
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0 5m
SCALE 1:250



Lot 3071
STAGE 03 | THE HILLTOP



0 5m
SCALE 1:250



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Lot Plan

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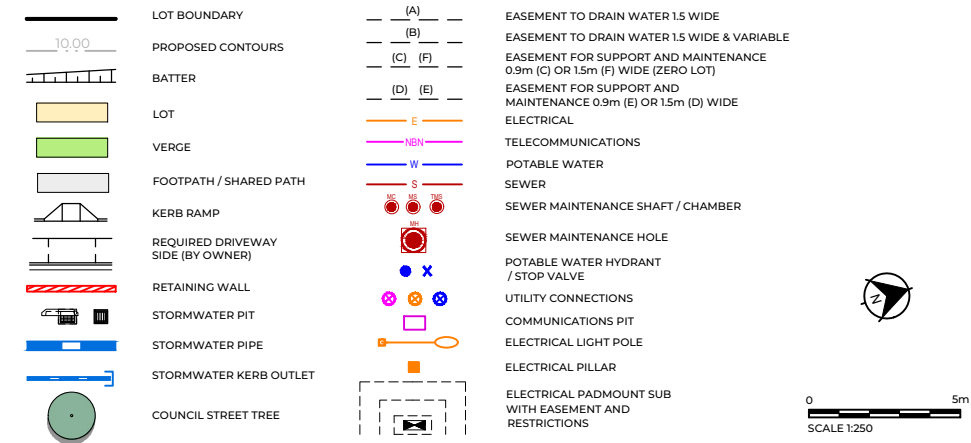
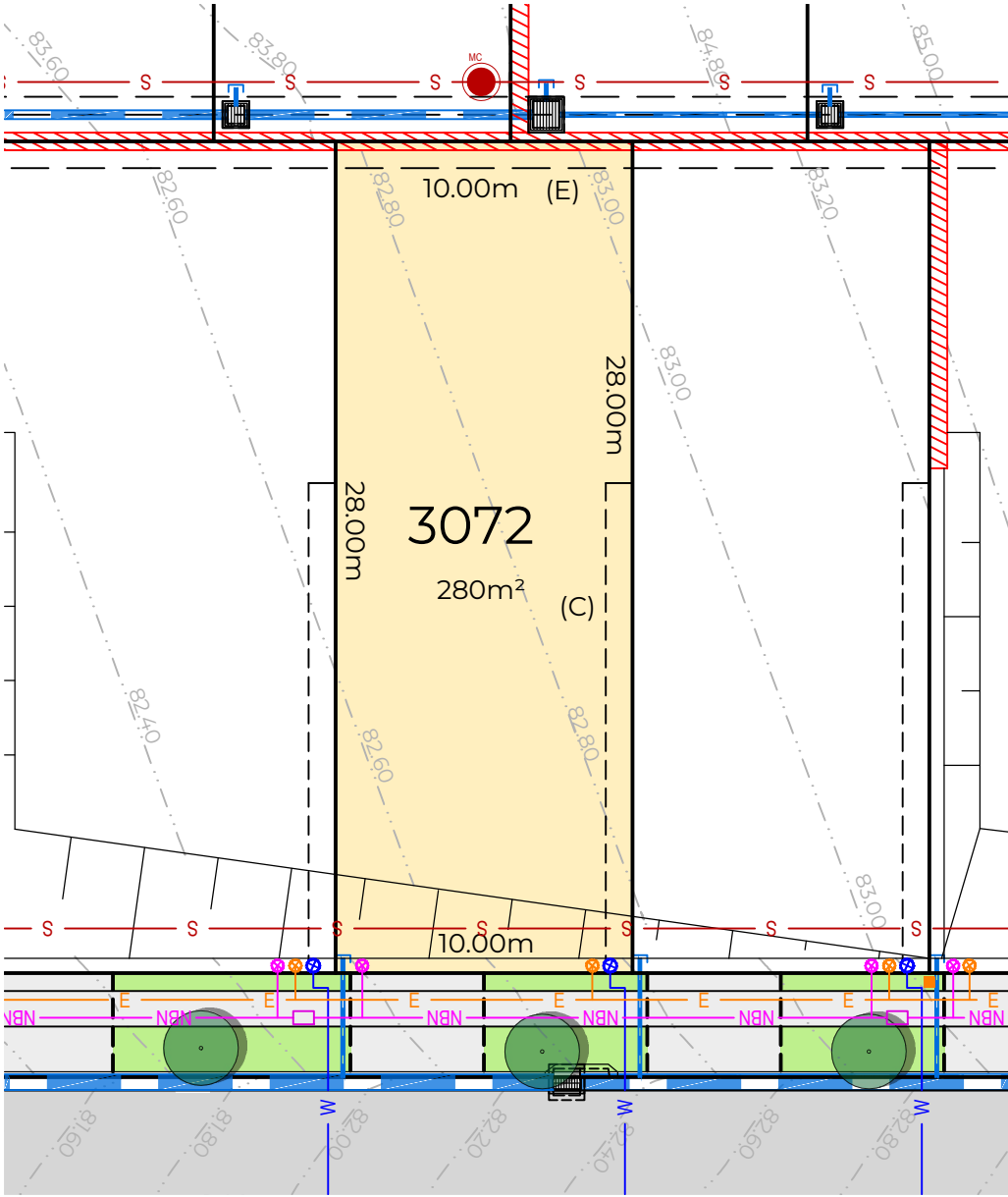
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Lot 3072
STAGE 03 | THE HILLTOP



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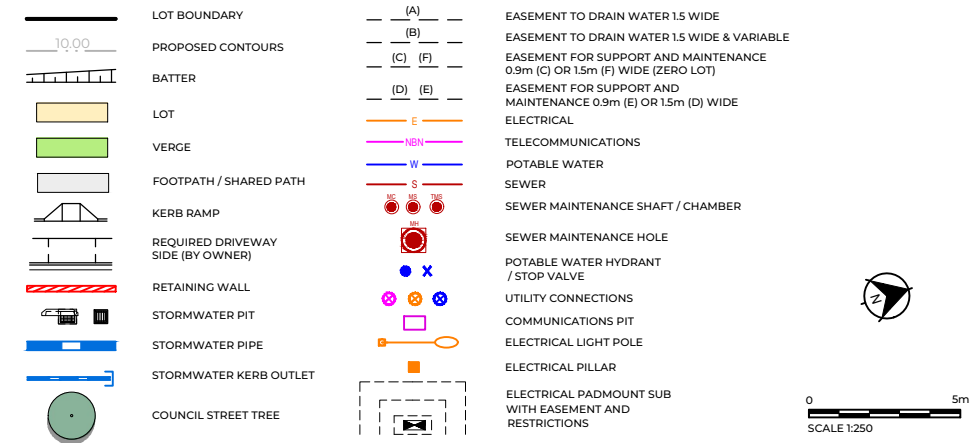
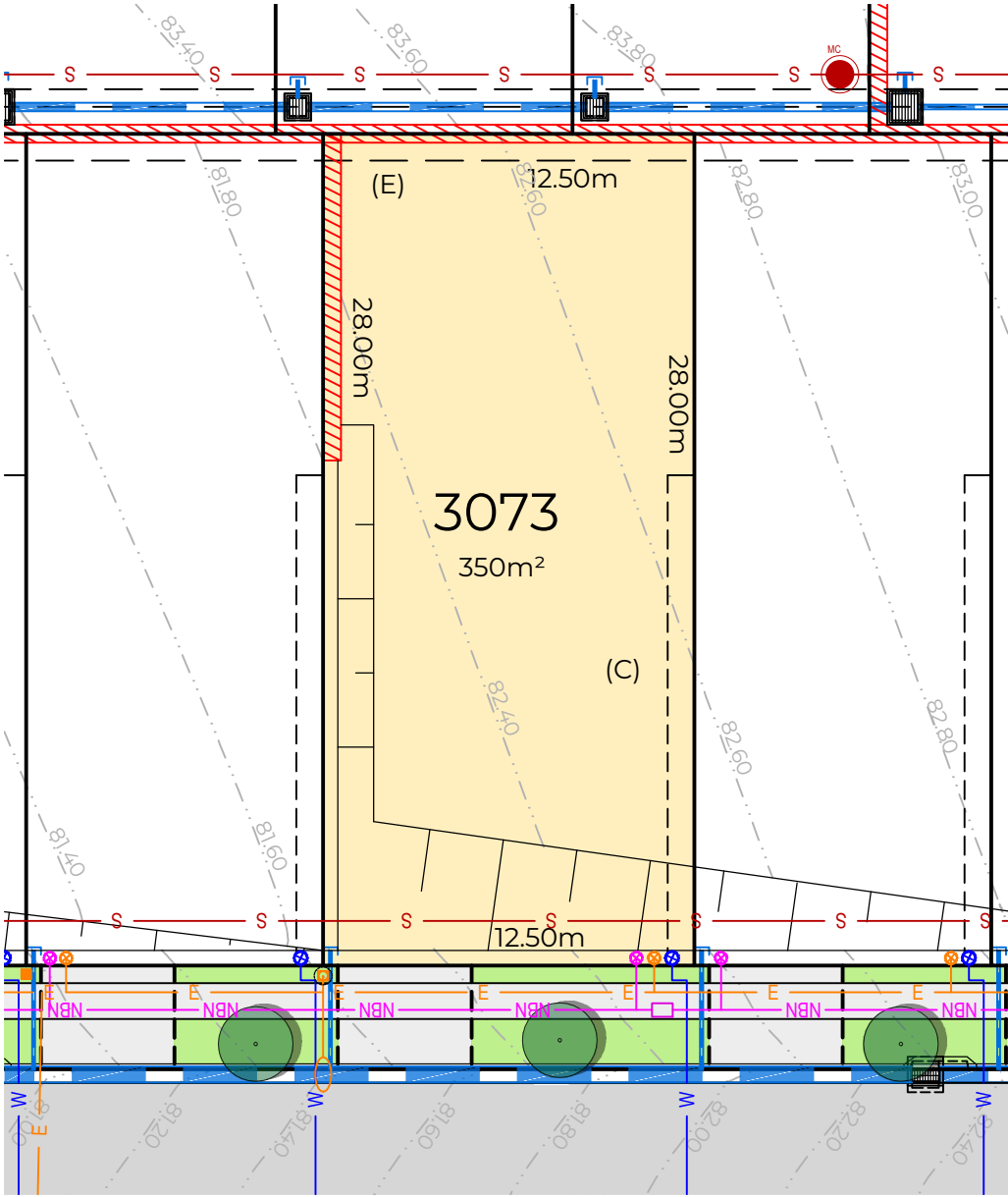
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Lot 3073
STAGE 03 | THE HILLTOP



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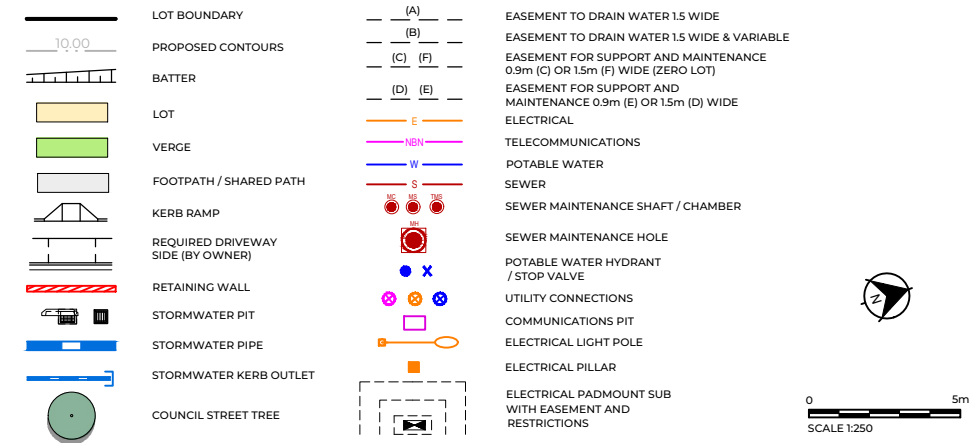
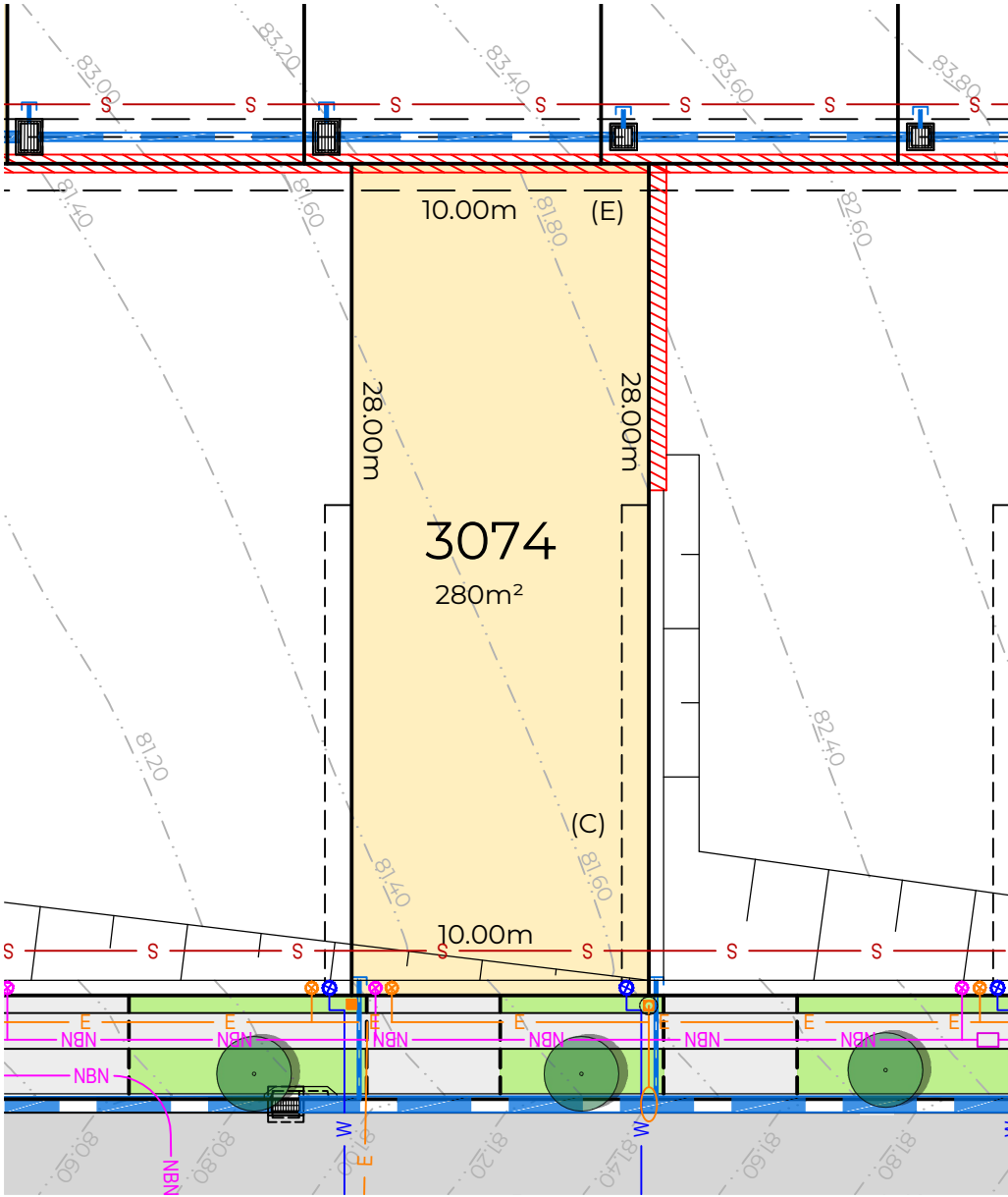
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Lot 3074
STAGE 03 | THE HILLTOP



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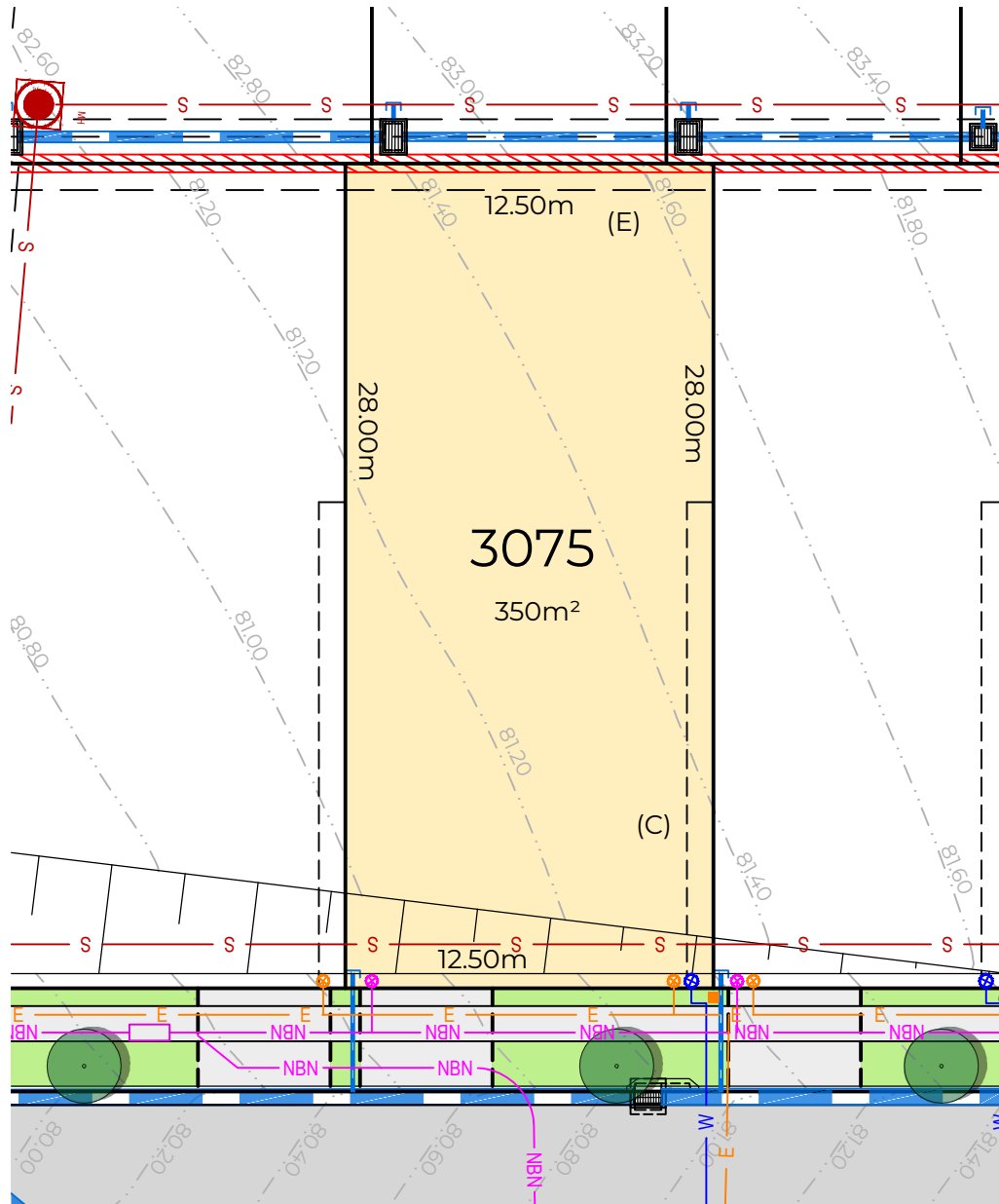
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Lot 3075

STAGE 03 | THE HILLTOP



	LOT BOUNDARY		EASEMENT TO DRAIN WATER 1.5 WIDE
	PROPOSED CONTOURS		EASEMENT TO DRAIN WATER 1.5 WIDE & VARIABLE
	BATTER		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (C) OR 1.5m (F) WIDE (ZERO LOT)
	LOT		EASEMENT FOR SUPPORT AND MAINTENANCE 0.9m (E) OR 1.5m (D) WIDE
	VERGE		ELECTRICAL
	FOOTPATH / SHARED PATH		TELECOMMUNICATIONS
	KERB RAMP		POTABLE WATER
	REQUIRED DRIVEWAY SIDE (BY OWNER)		SEWER
	RETAINING WALL		SEWER MAINTENANCE SHAFT / CHAMBER
	STORMWATER PIT		SEWER MAINTENANCE HOLE
	STORMWATER PIPE		POTABLE WATER HYDRANT / STOP VALVE
	STORMWATER KERB OUTLET		UTILITY CONNECTIONS
	COUNCIL STREET TREE		COMMUNICATIONS PIT
			ELECTRICAL LIGHT POLE
			ELECTRICAL PILLAR
			ELECTRICAL PADMOUNT SUB WITH EASEMENT AND RESTRICTIONS



0 5m
SCALE 1:250



BIRLING

Lot Plan

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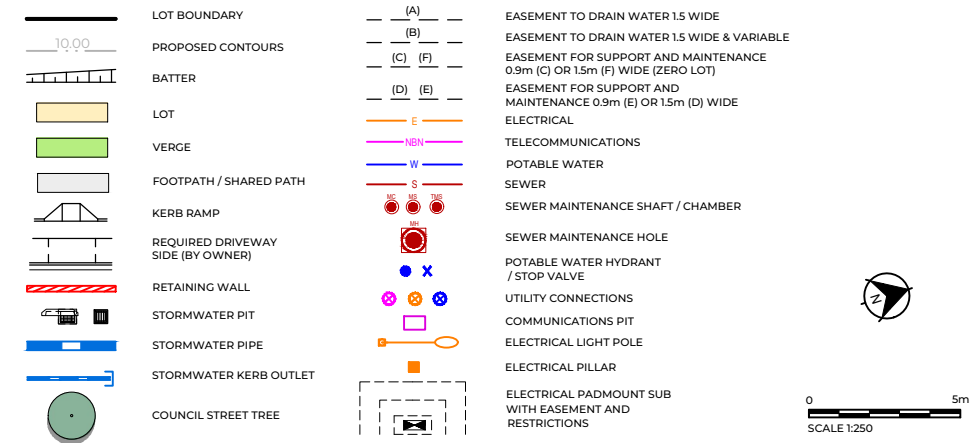
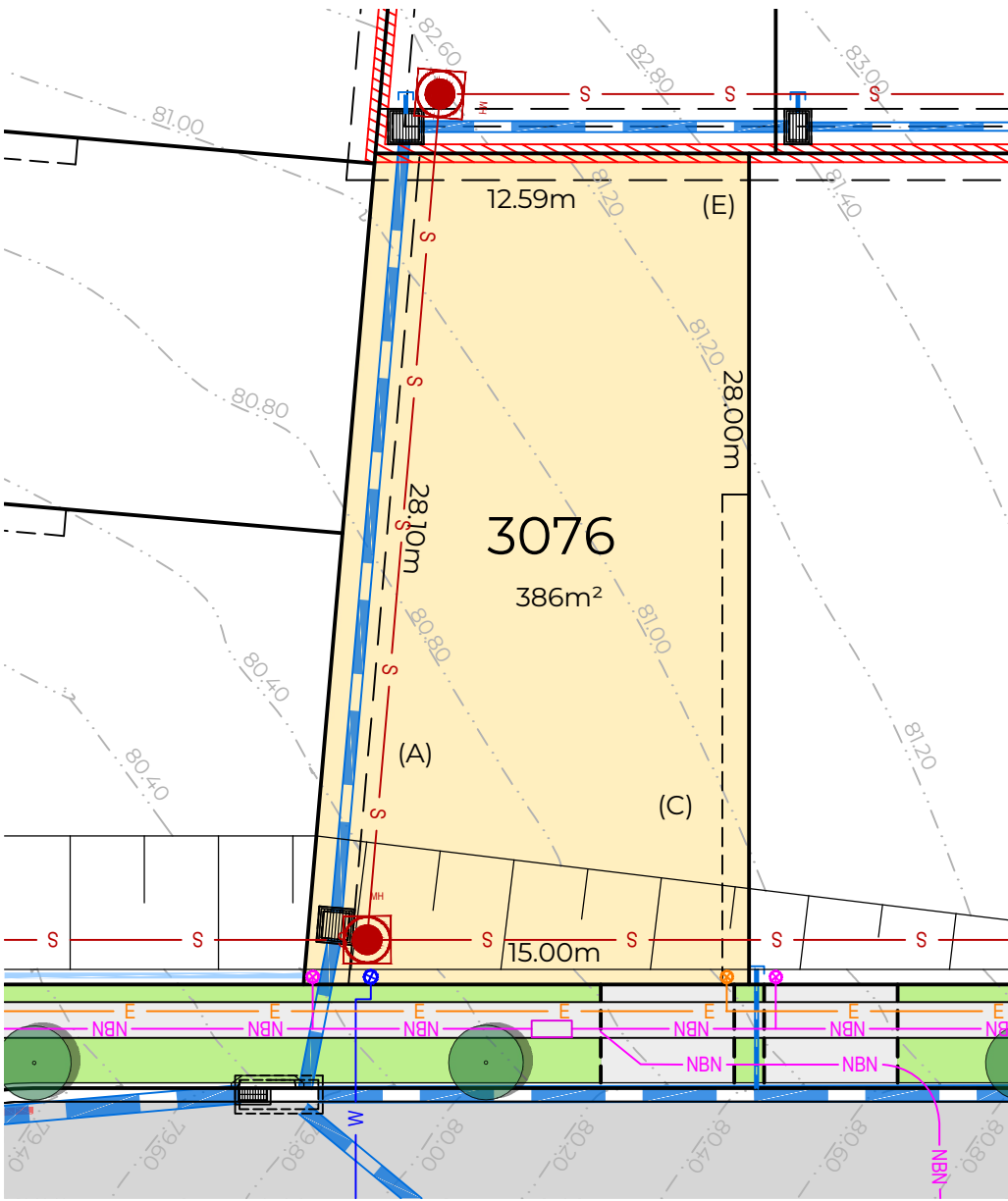
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Cameron Brae
GROUP

Lot 3076
STAGE 03 | THE HILLTOP



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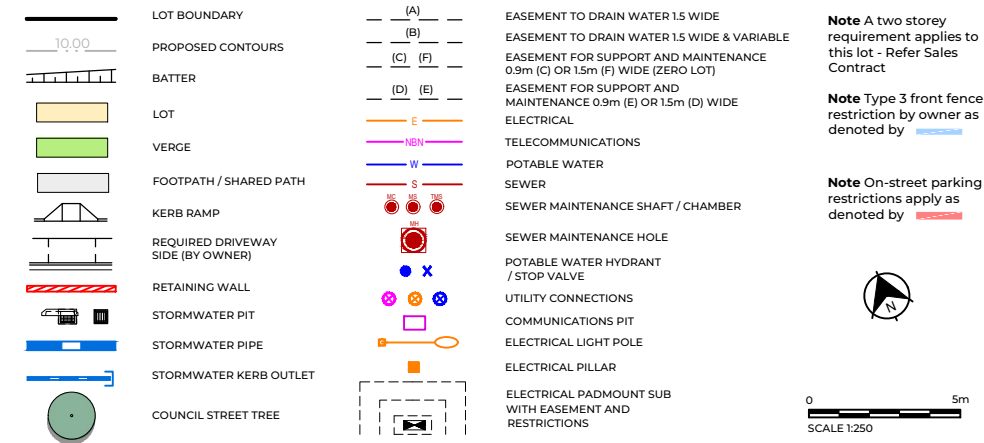
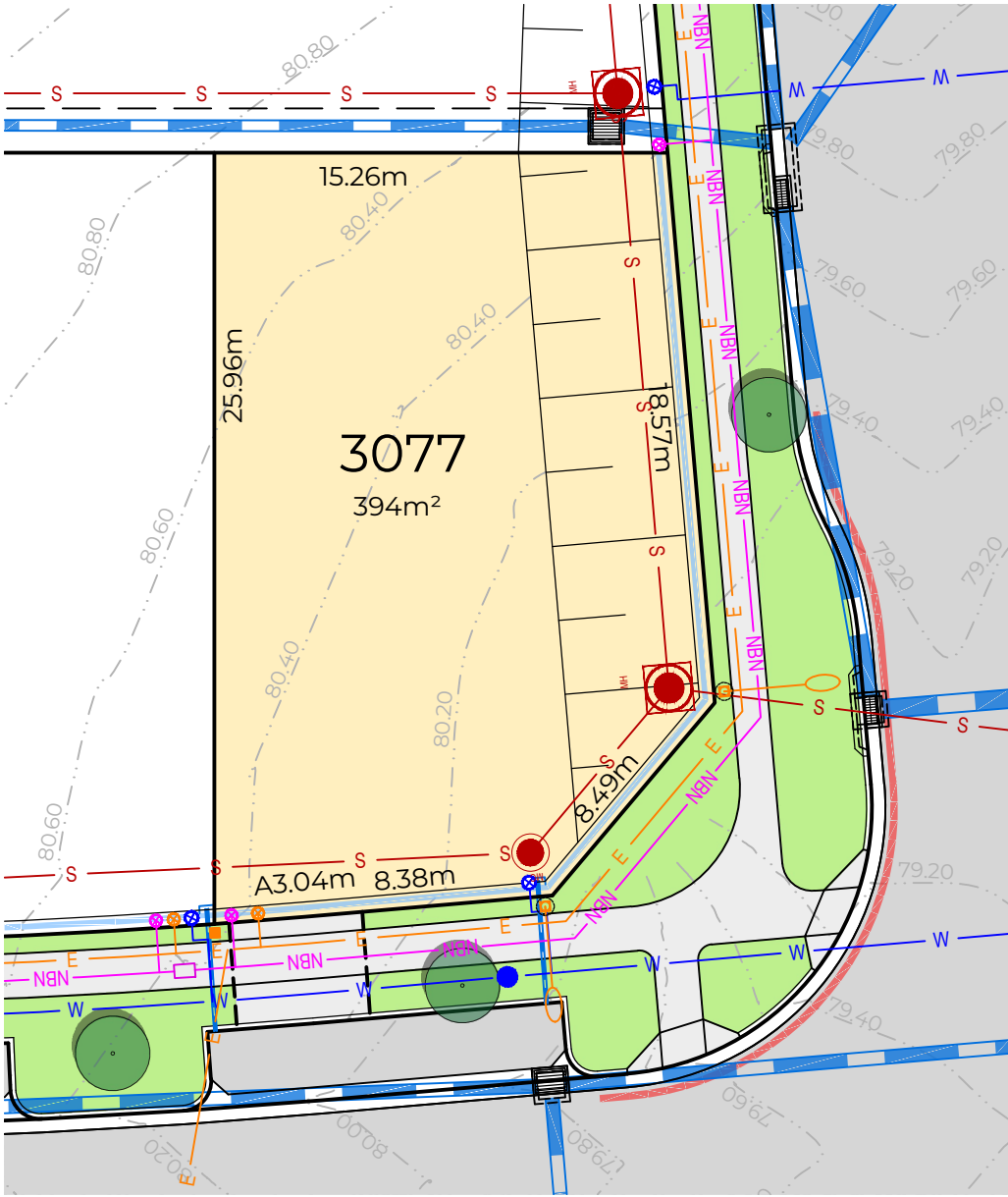
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Lot 3077
STAGE 03 | THE HILLTOP



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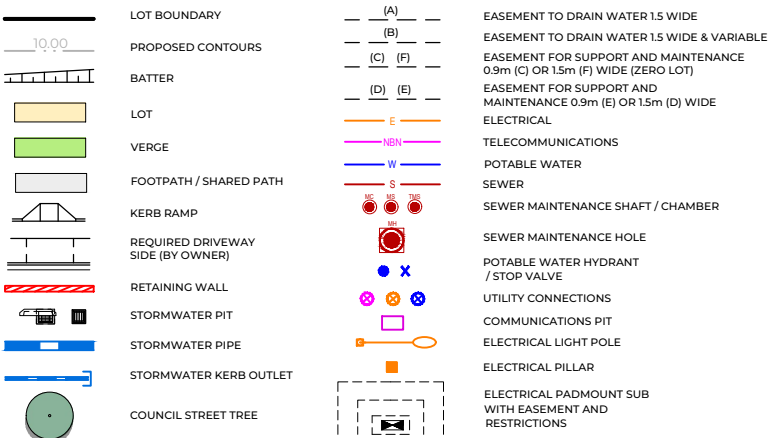
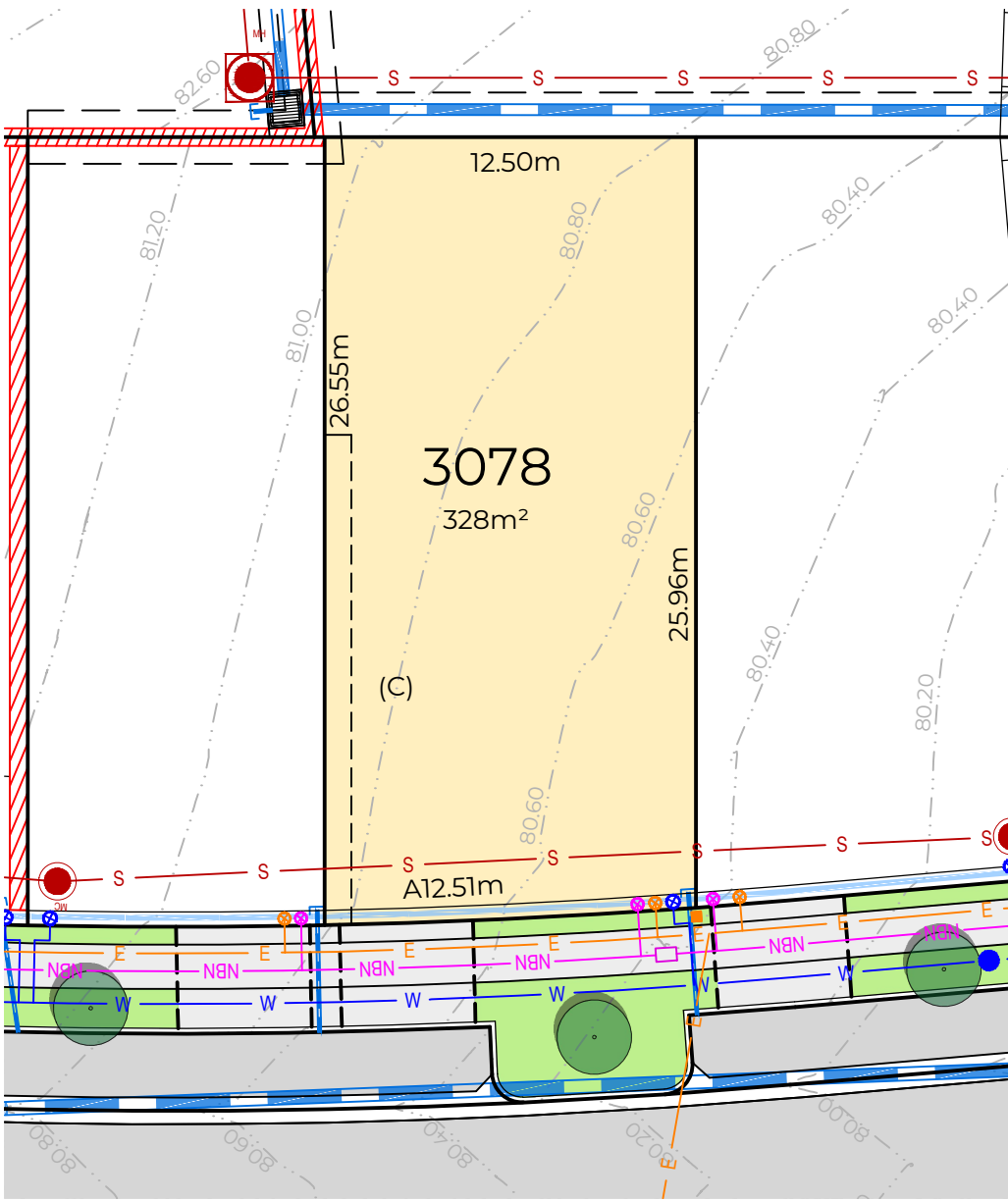
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Lot 3078
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250

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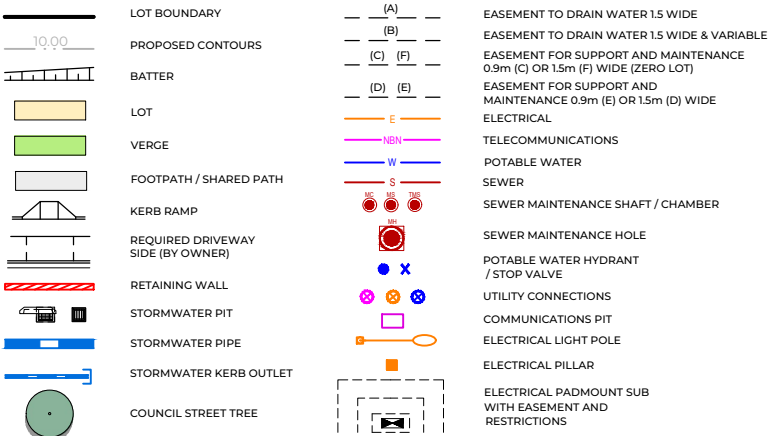
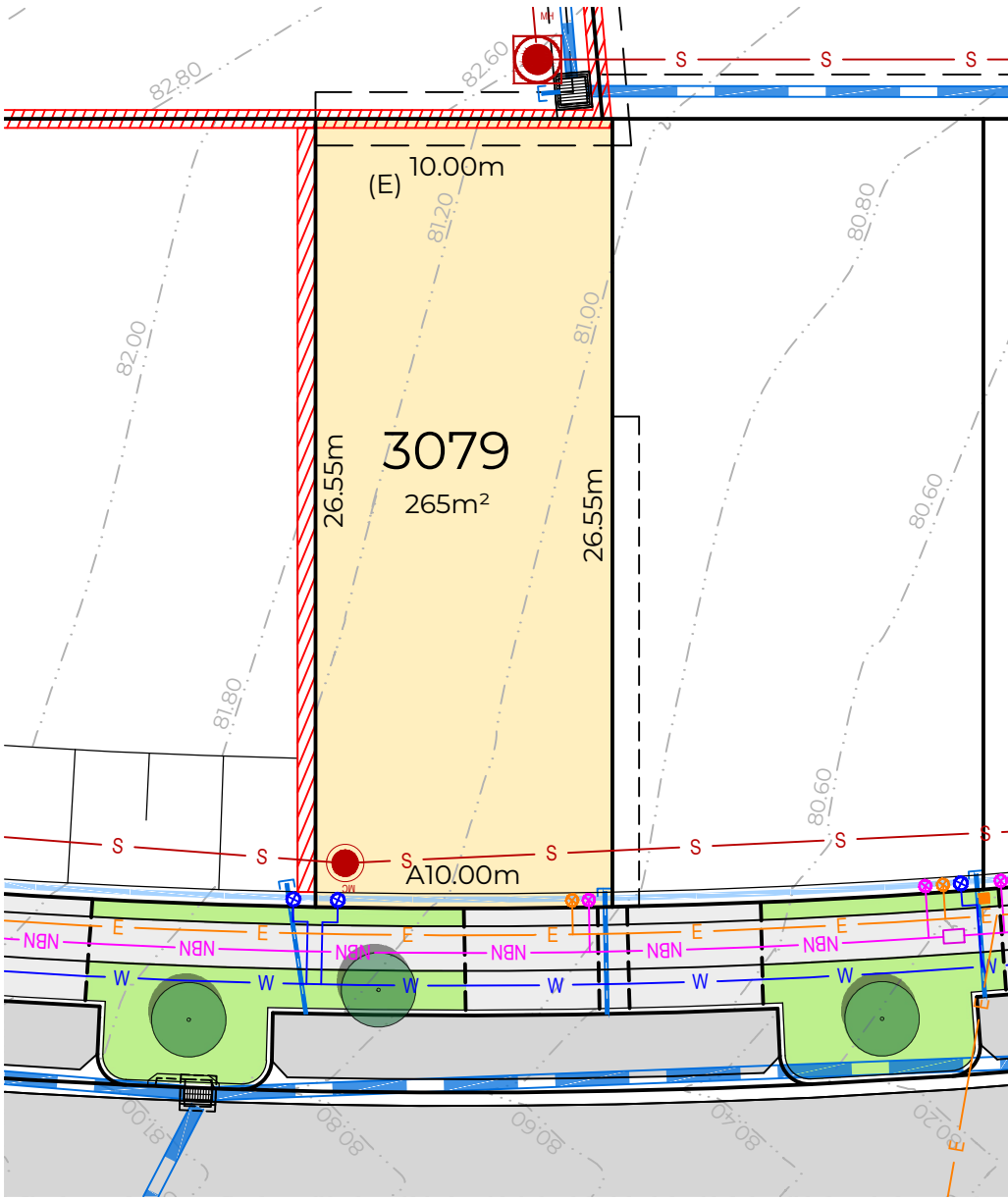
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SALES CENTRE

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Lot 3079
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250

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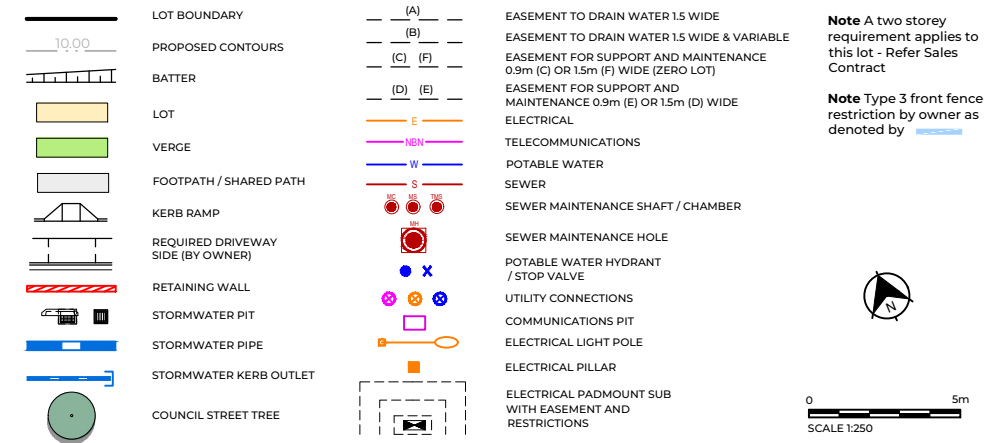
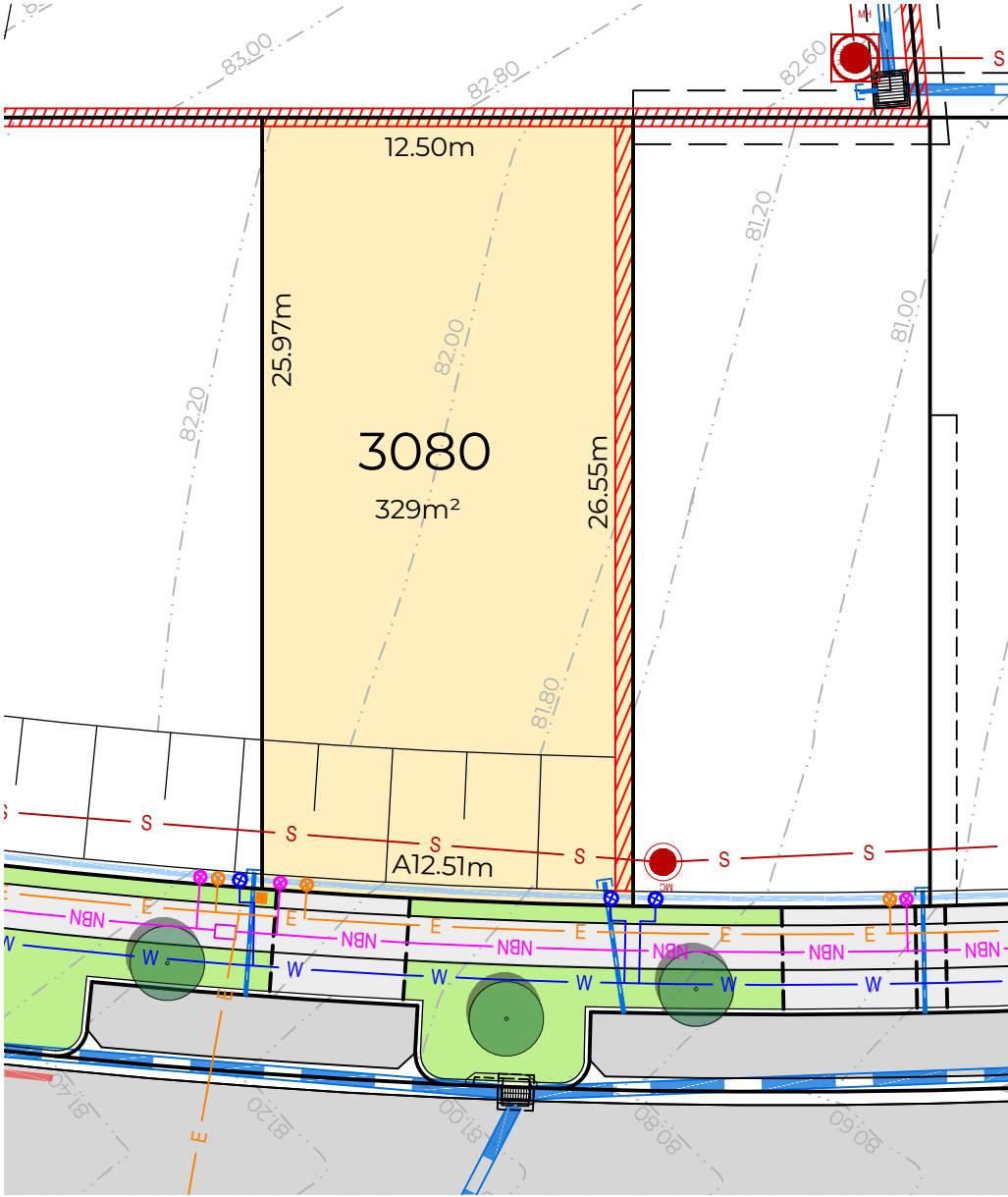
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SALES CENTRE

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Lot 3080
STAGE 03 | THE HILLTOP



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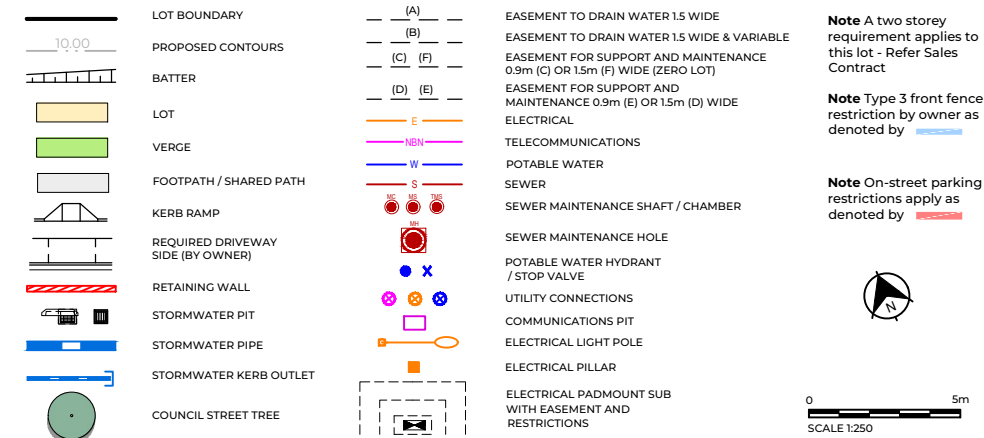
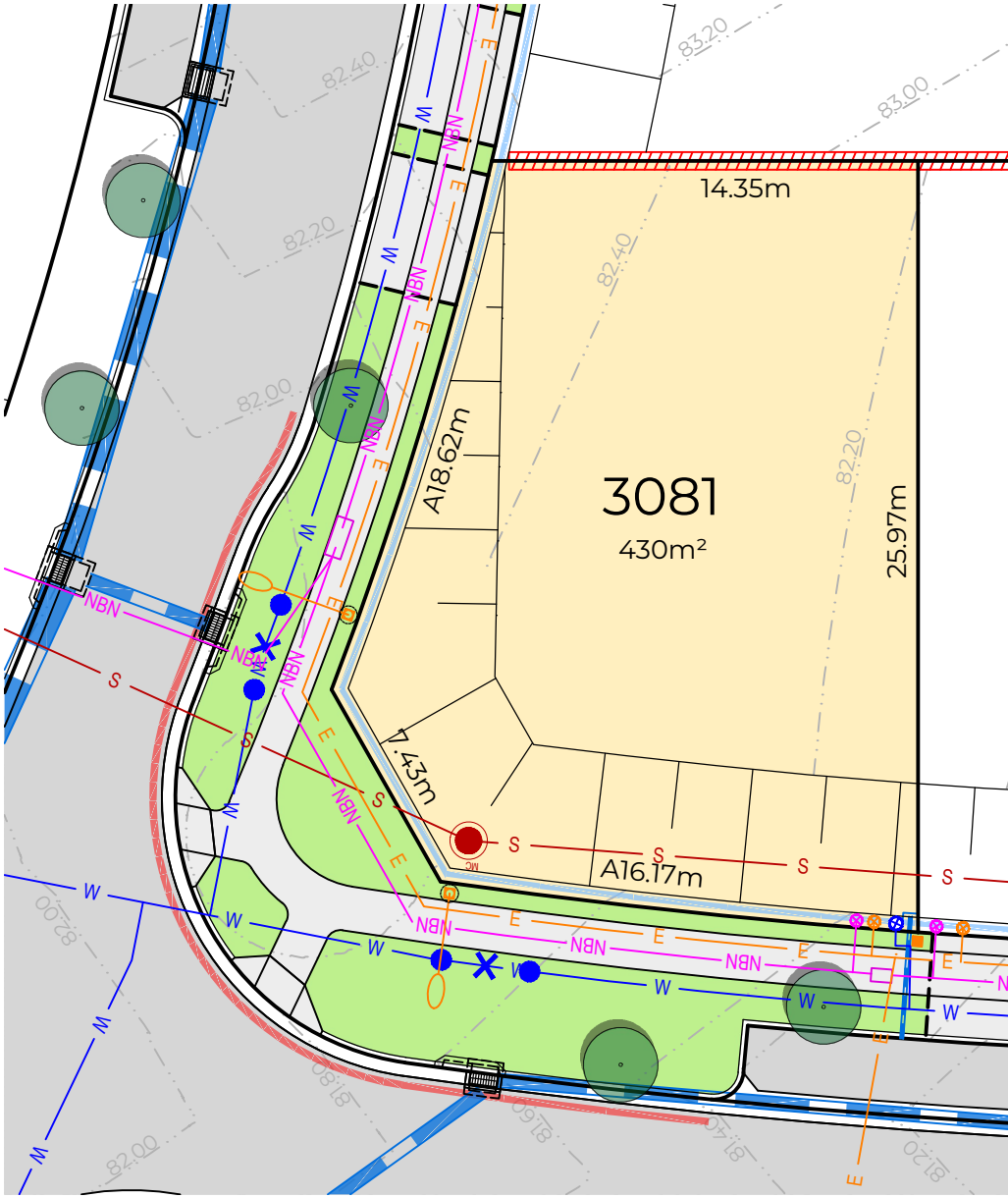
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Lot 3081
STAGE 03 | THE HILLTOP



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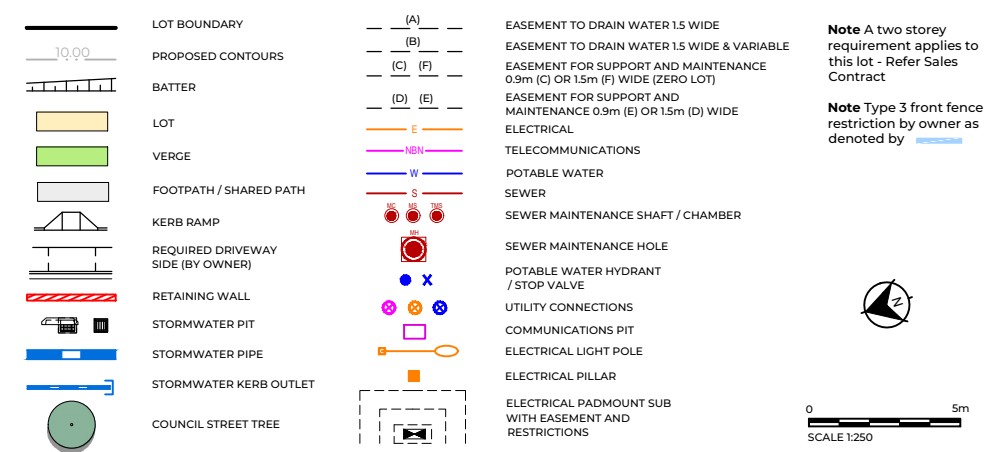
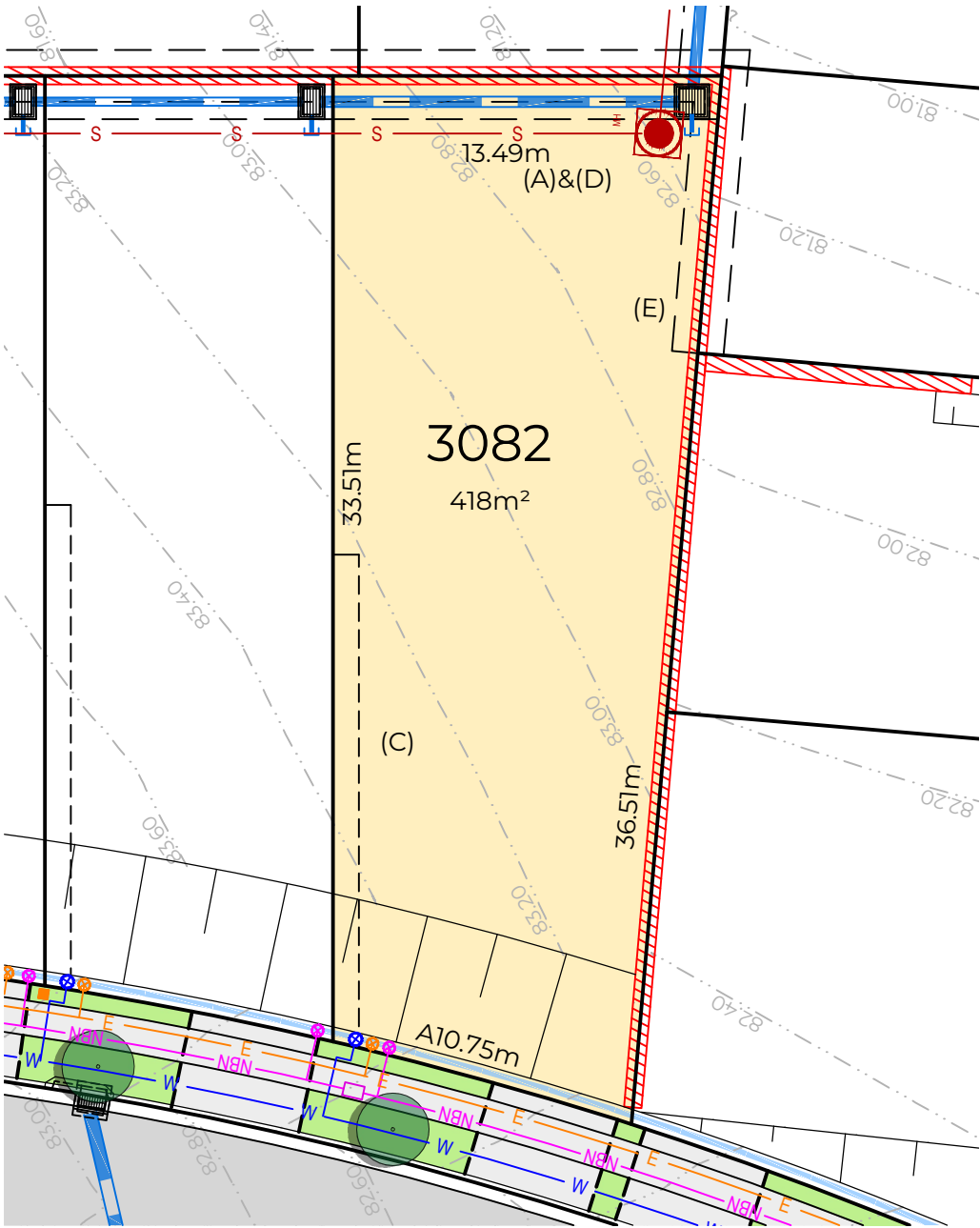
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Lot 3082
STAGE 03 | THE HILLTOP



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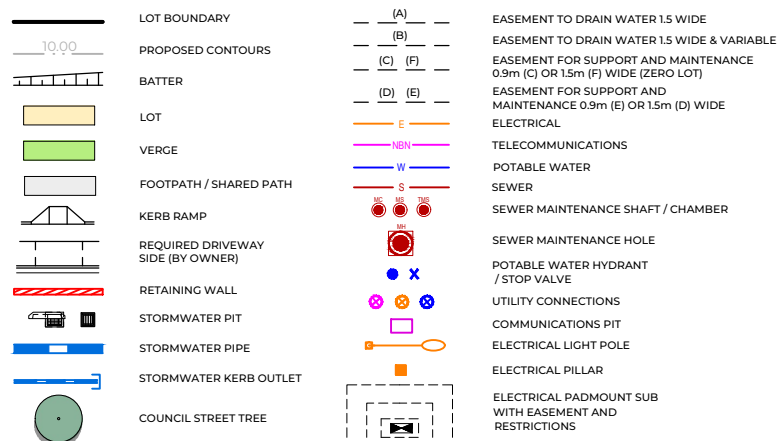
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STAGE 03 | THE HILLTOP



A circle with a shaded sector. The central angle of the sector is labeled z .

0 5m
SCALE 1:250



Cameron Brae
GROUP

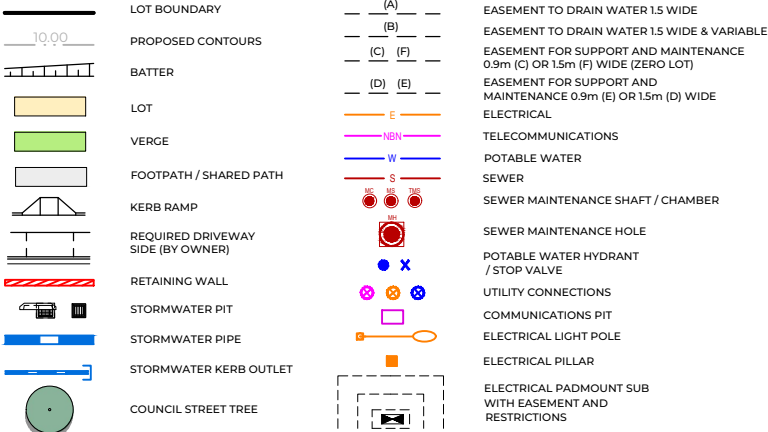
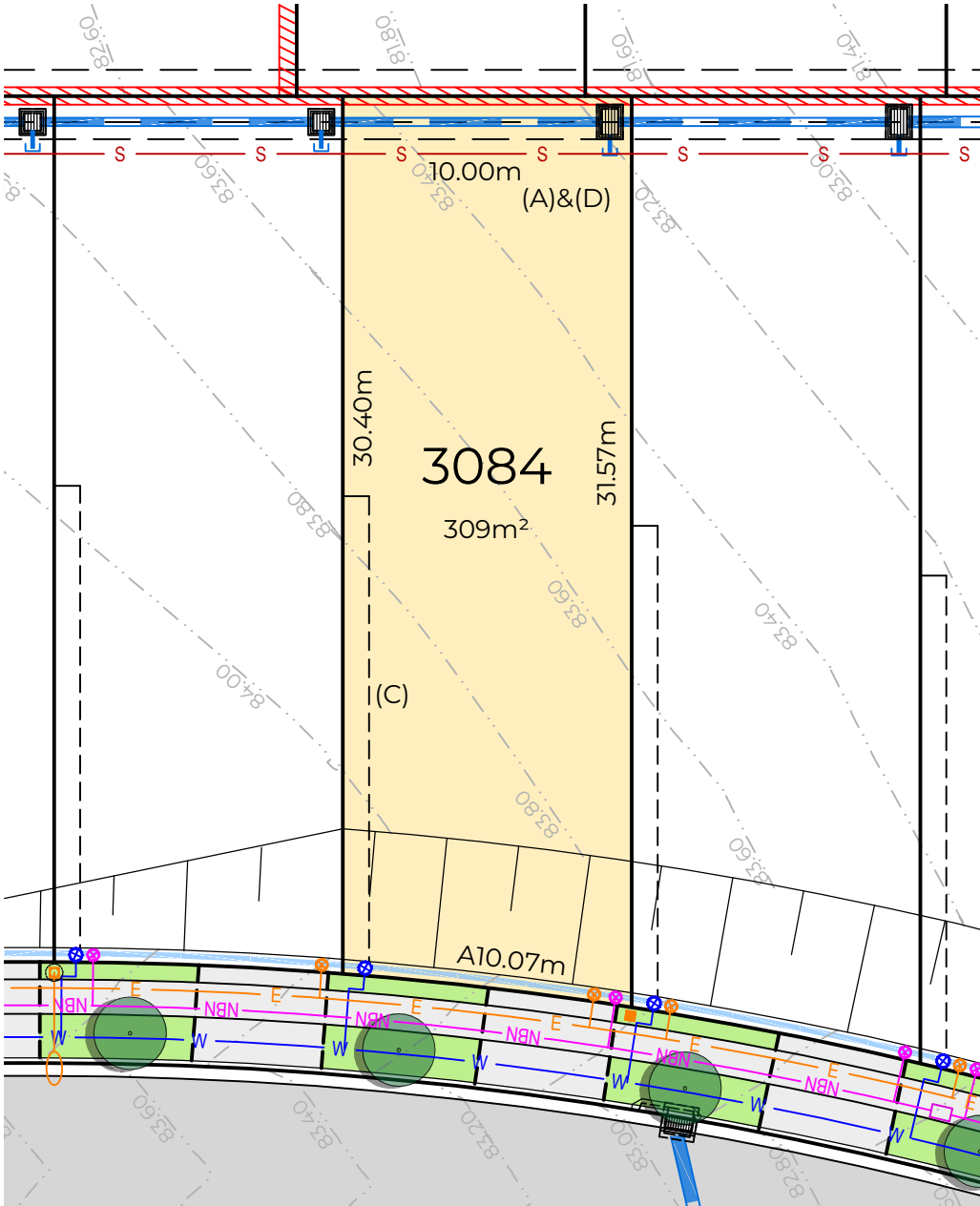


BIRLING

Lot Plan

975 The Northern Road,
Bringelly NSW 2556

Lot 3084
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250



BIRLING

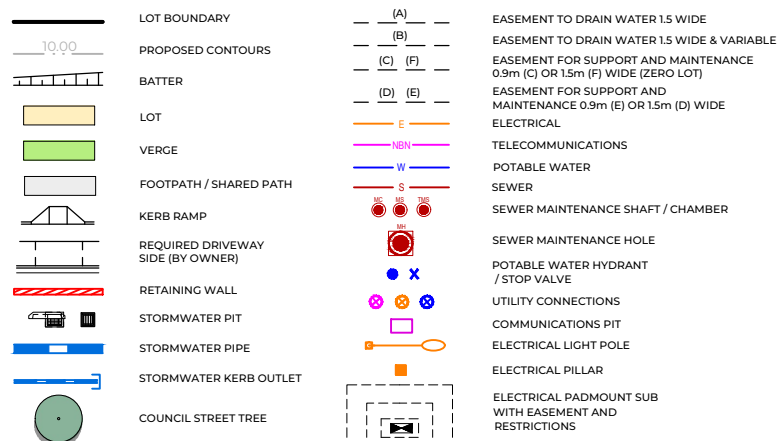
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STAGE 03 | THE HILLTOP



Note Type 3 front fence restriction by owner as denoted by 



0 5m
SCALE 1:250

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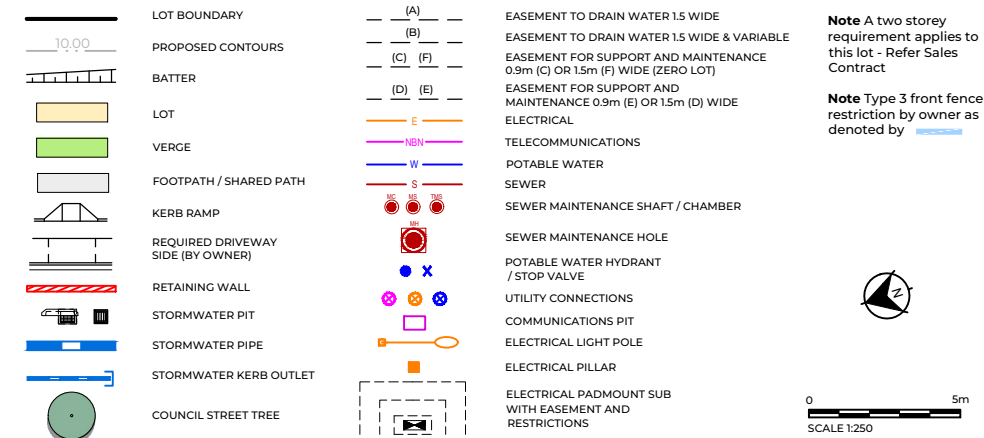
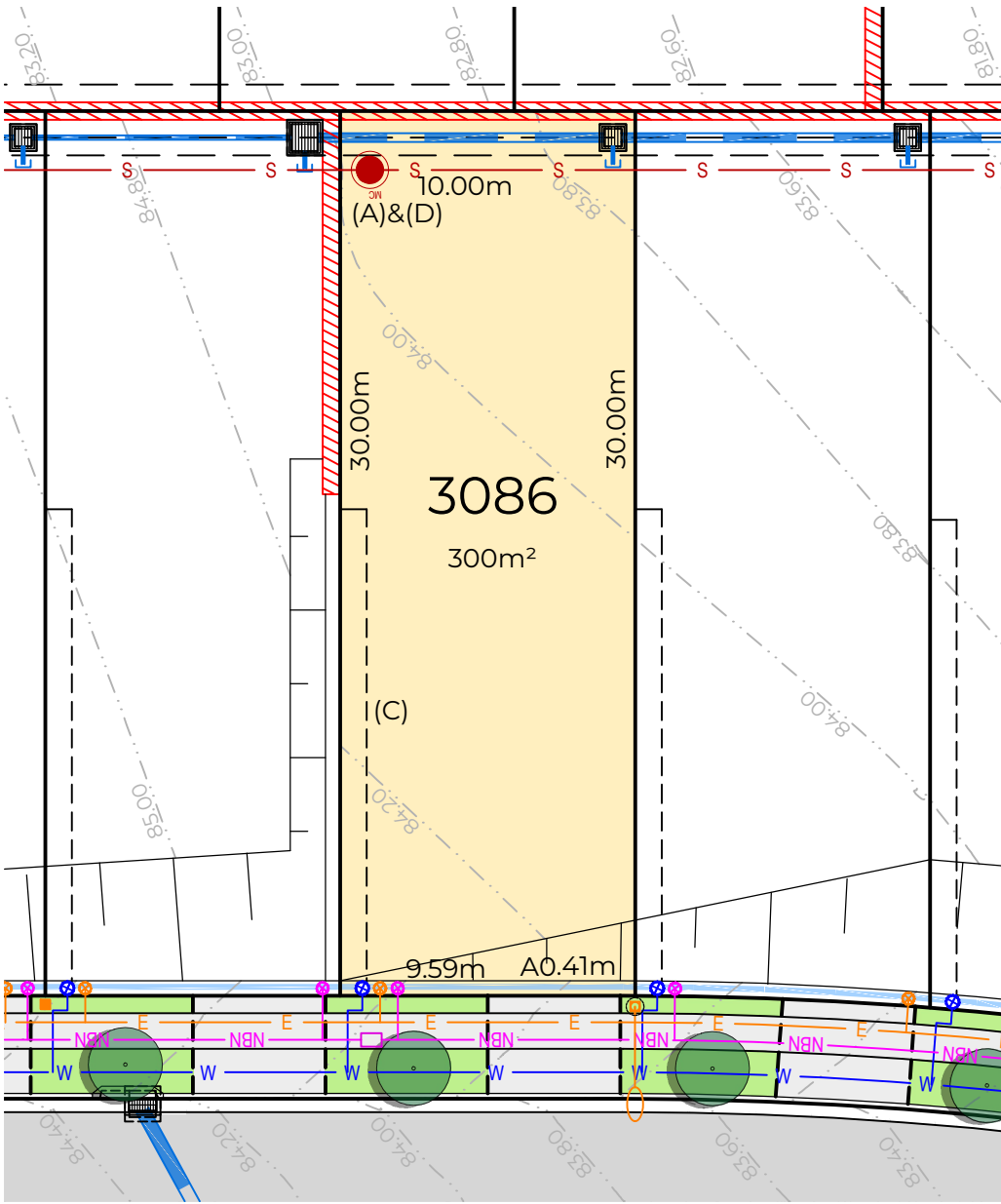
BIRLING

Lot Plan



Cameron Brae
GROUP

Lot 3086
STAGE 03 | THE HILLTOP



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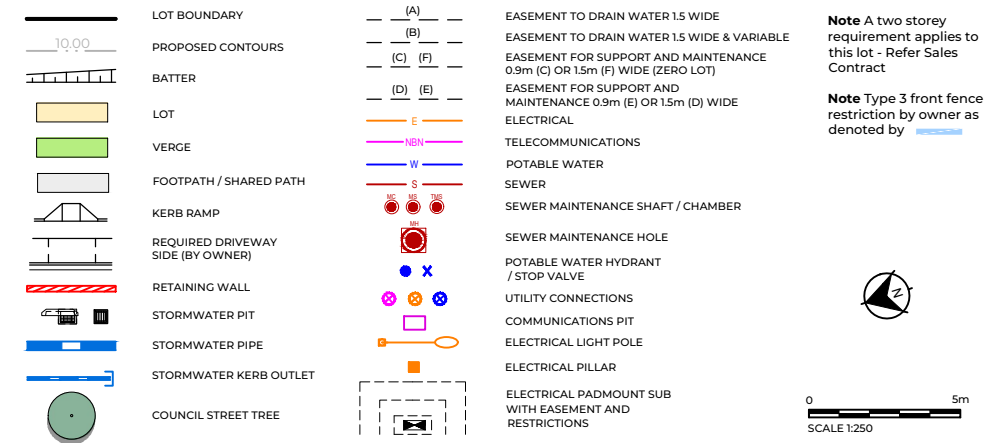
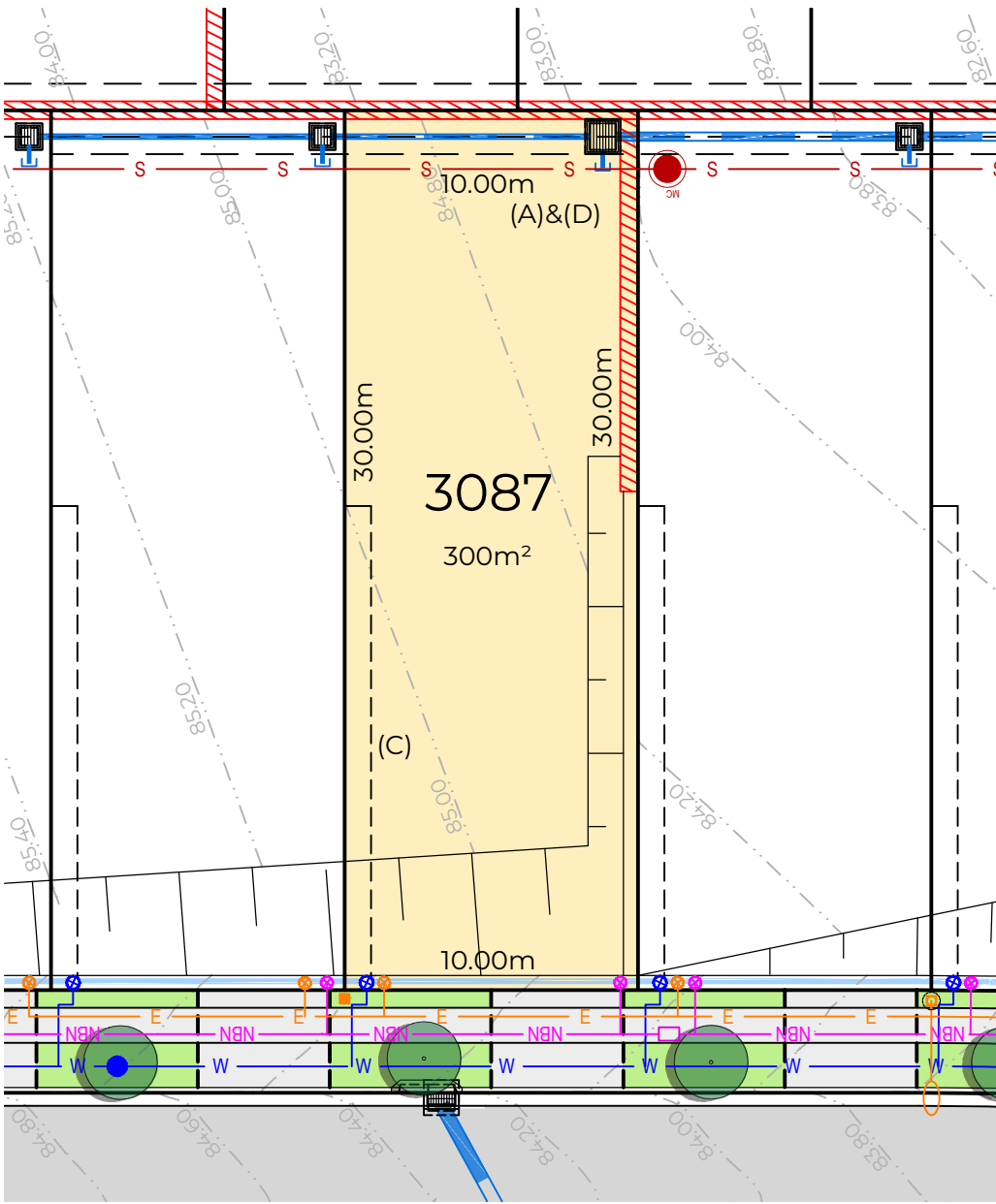
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Lot 3087
STAGE 03 | THE HILLTOP



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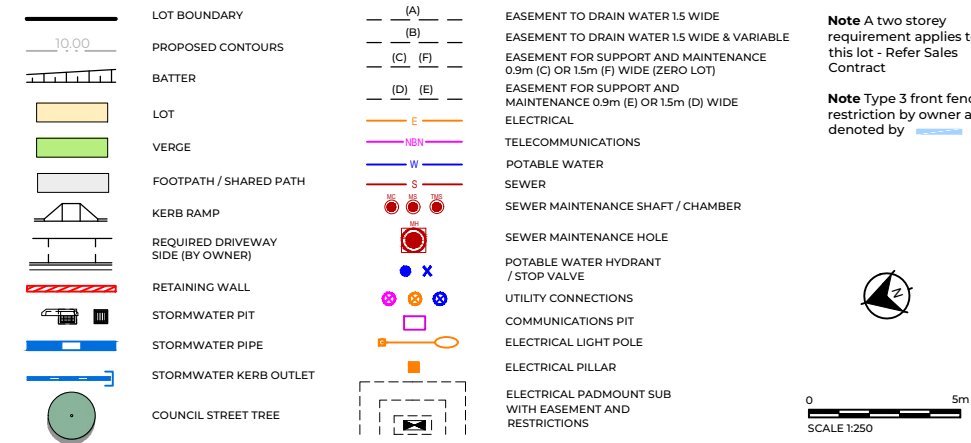
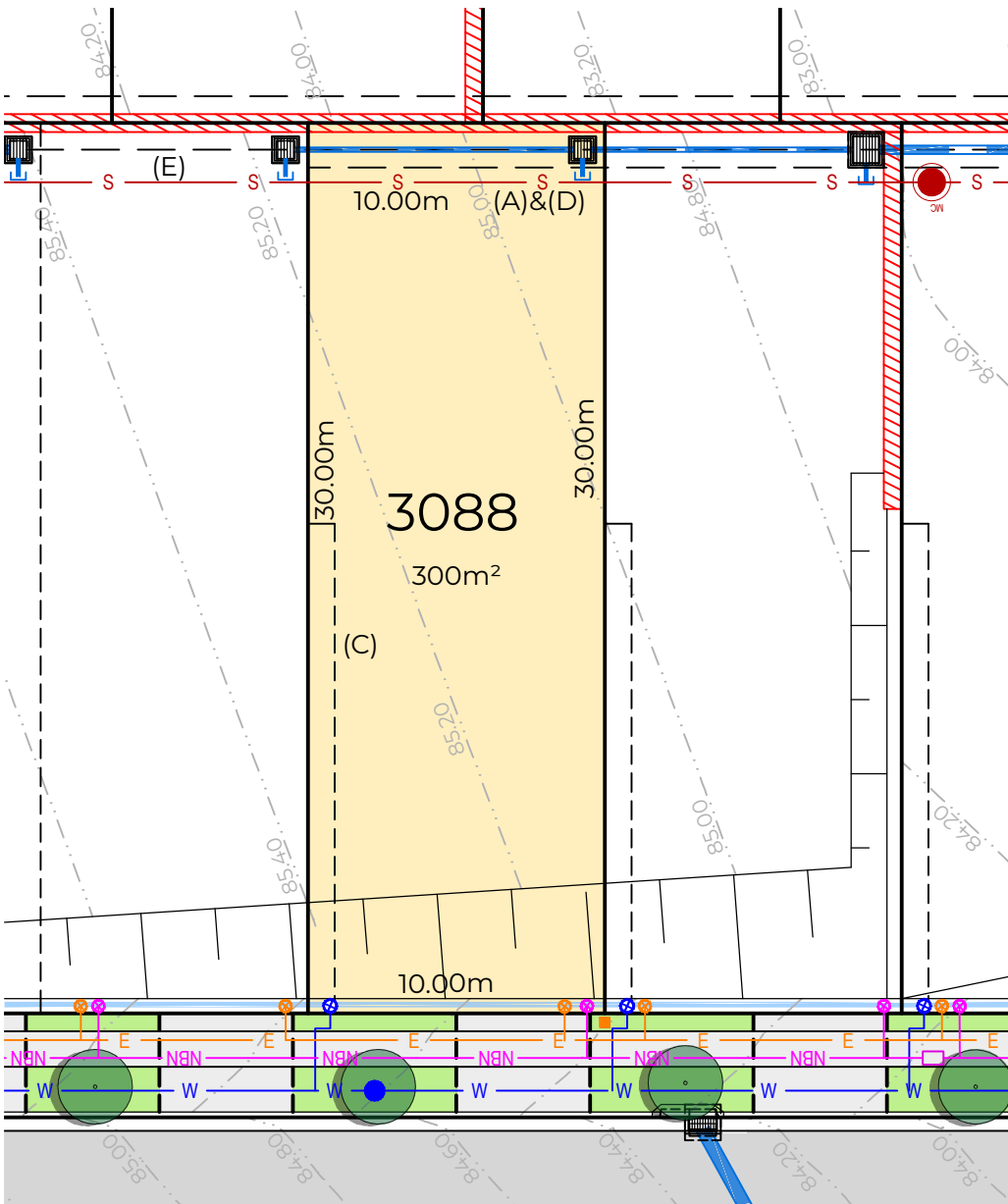
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Lot 3088
STAGE 03 | THE HILLTOP



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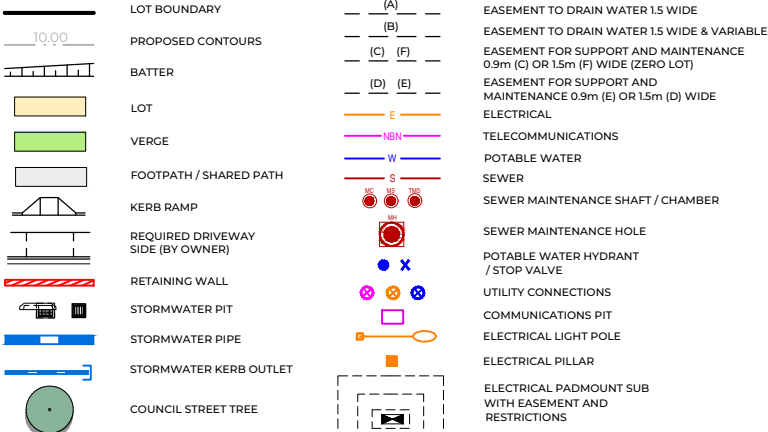
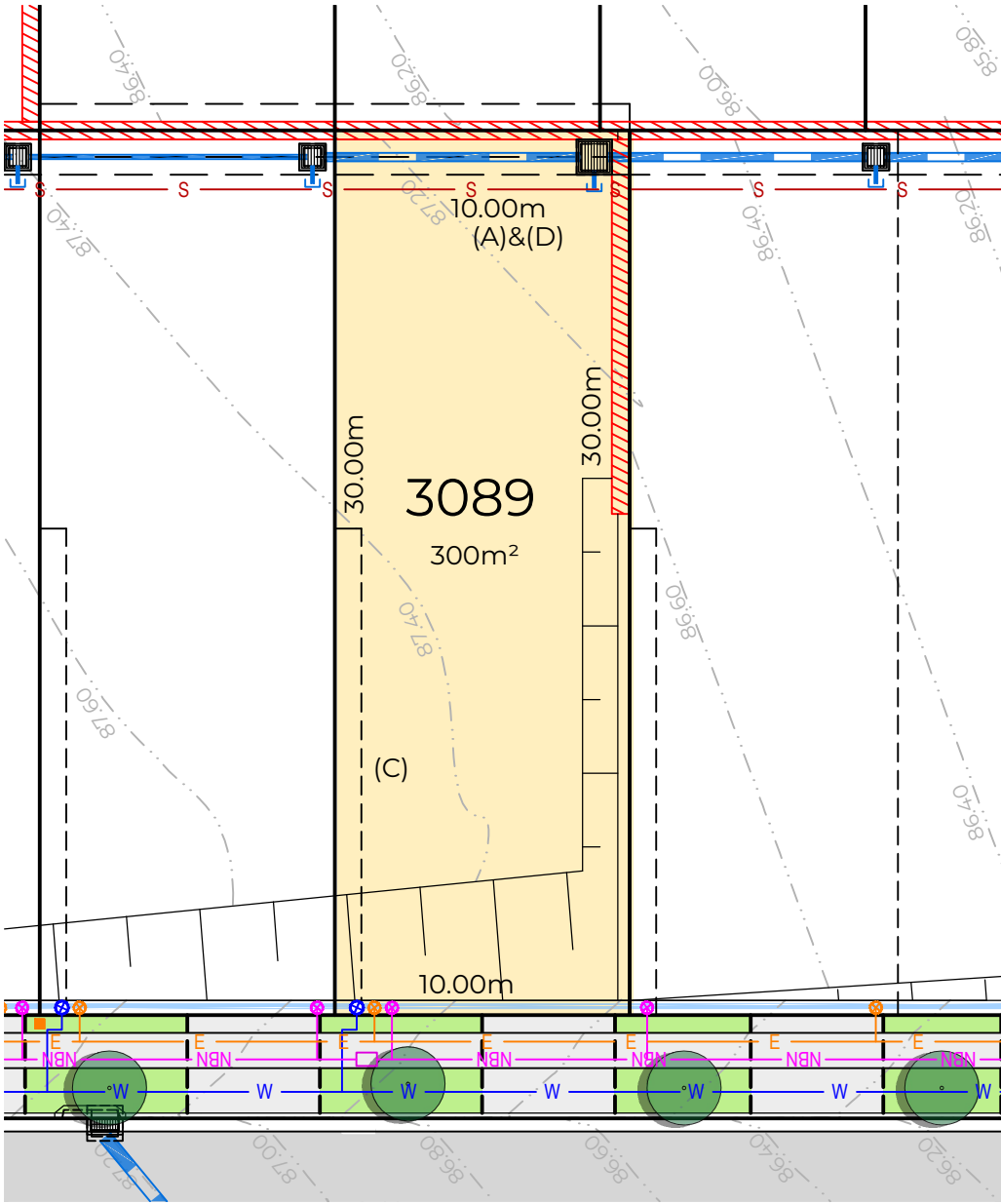
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Lot 3089
STAGE 03 | THE HILLTOP



Note A two storey requirement applies to this lot - Refer Sales Contract

Note Type 3 front fence restriction by owner as denoted by



0 5m
SCALE 1:250



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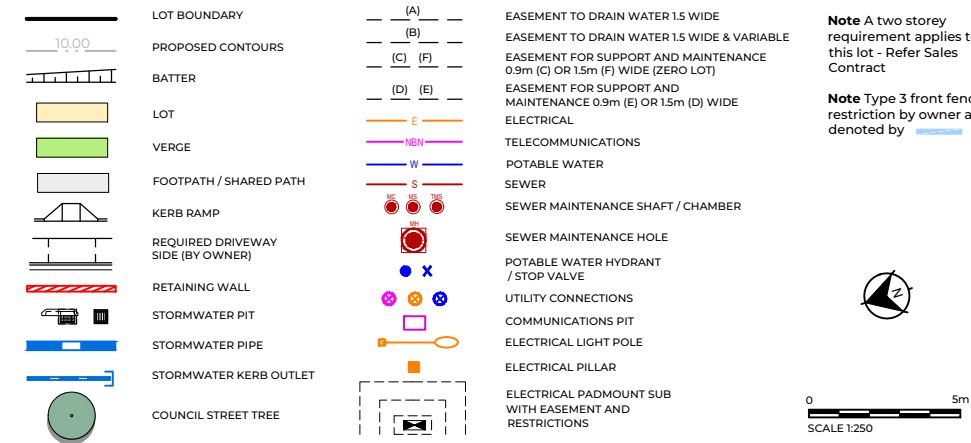
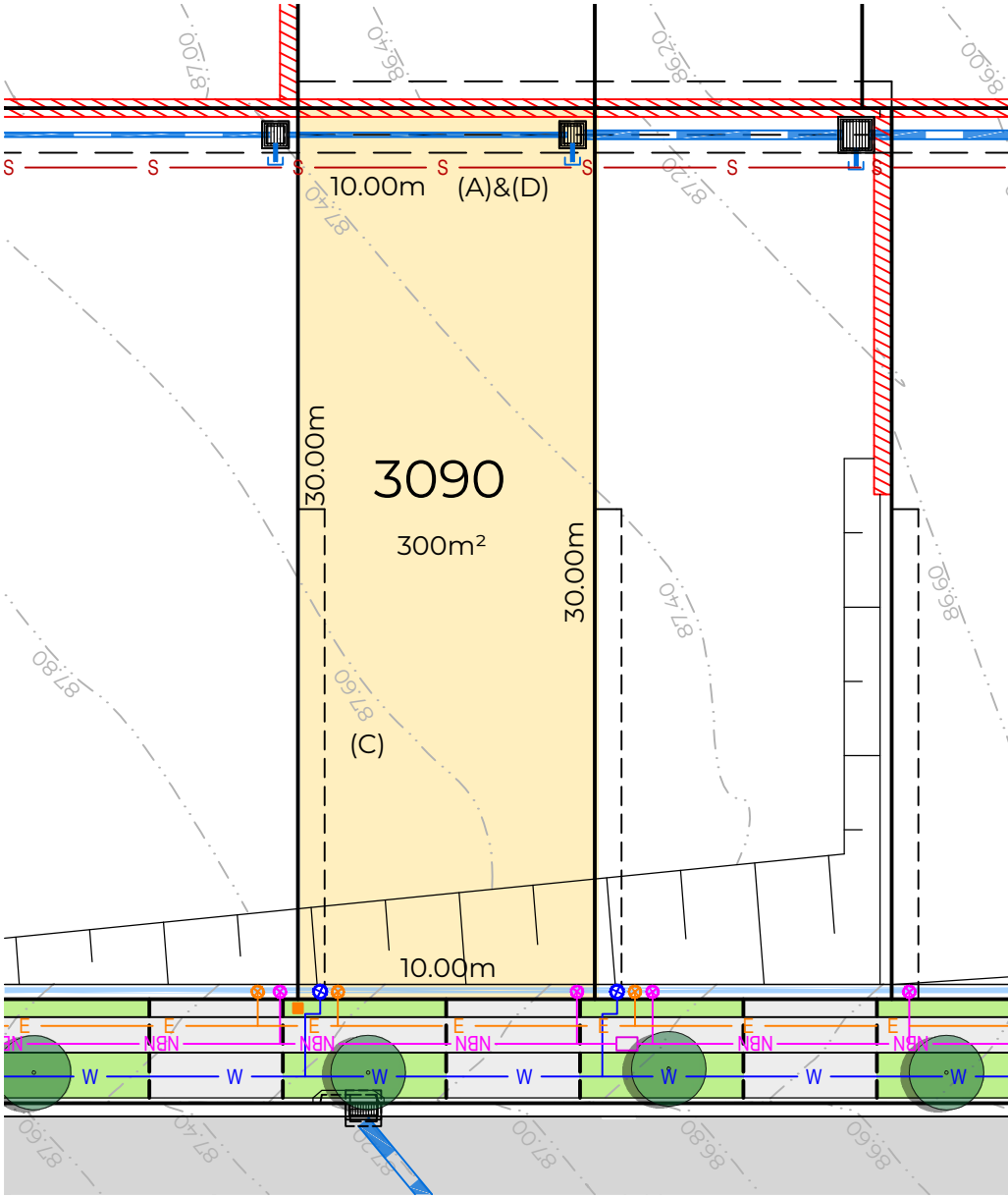
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Lot 3090
STAGE 03 | THE HILLTOP



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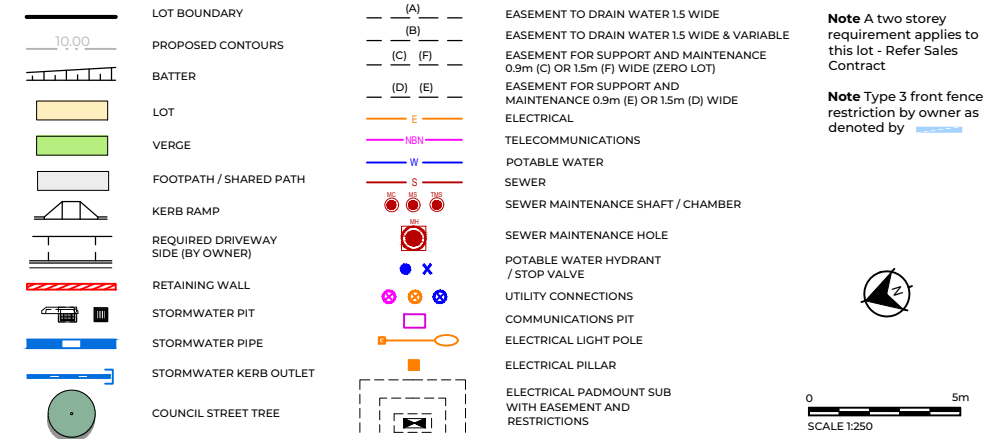
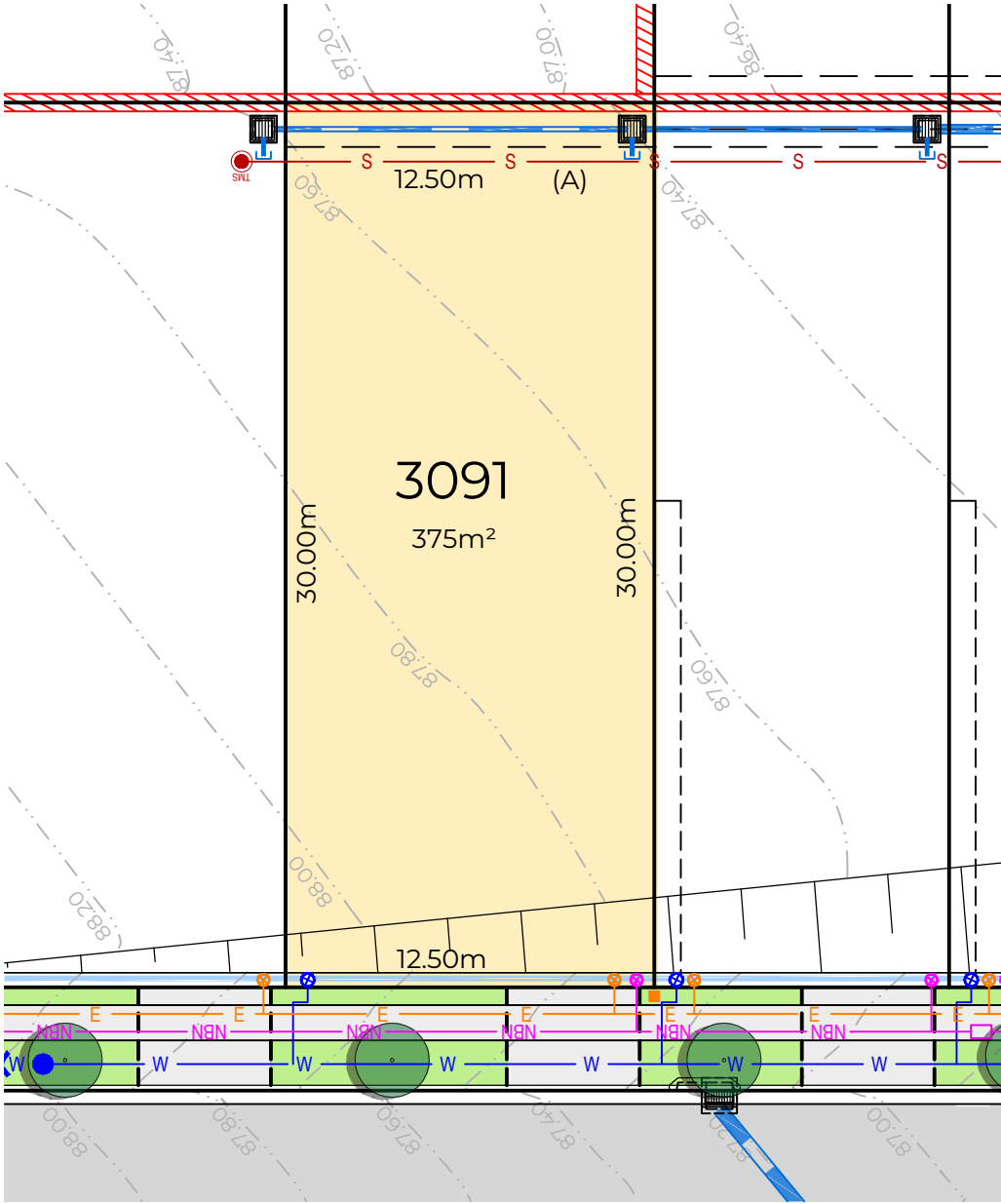
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Lot 3091
STAGE 03 | THE HILLTOP



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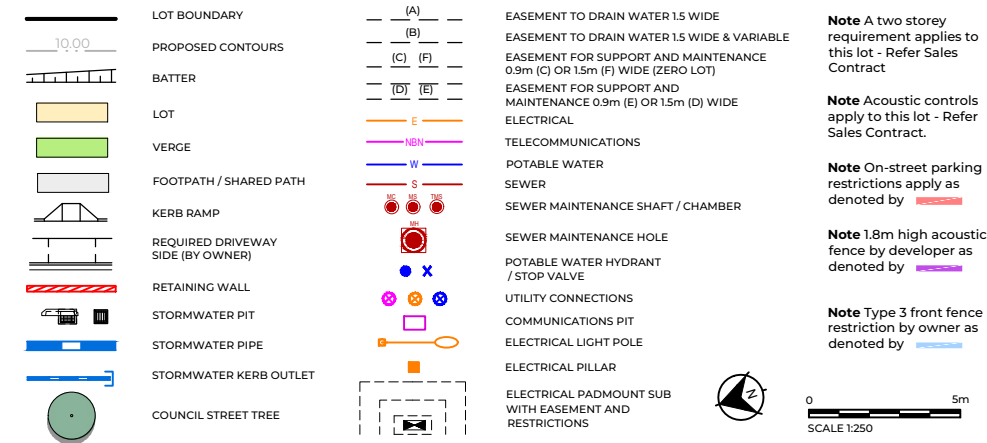
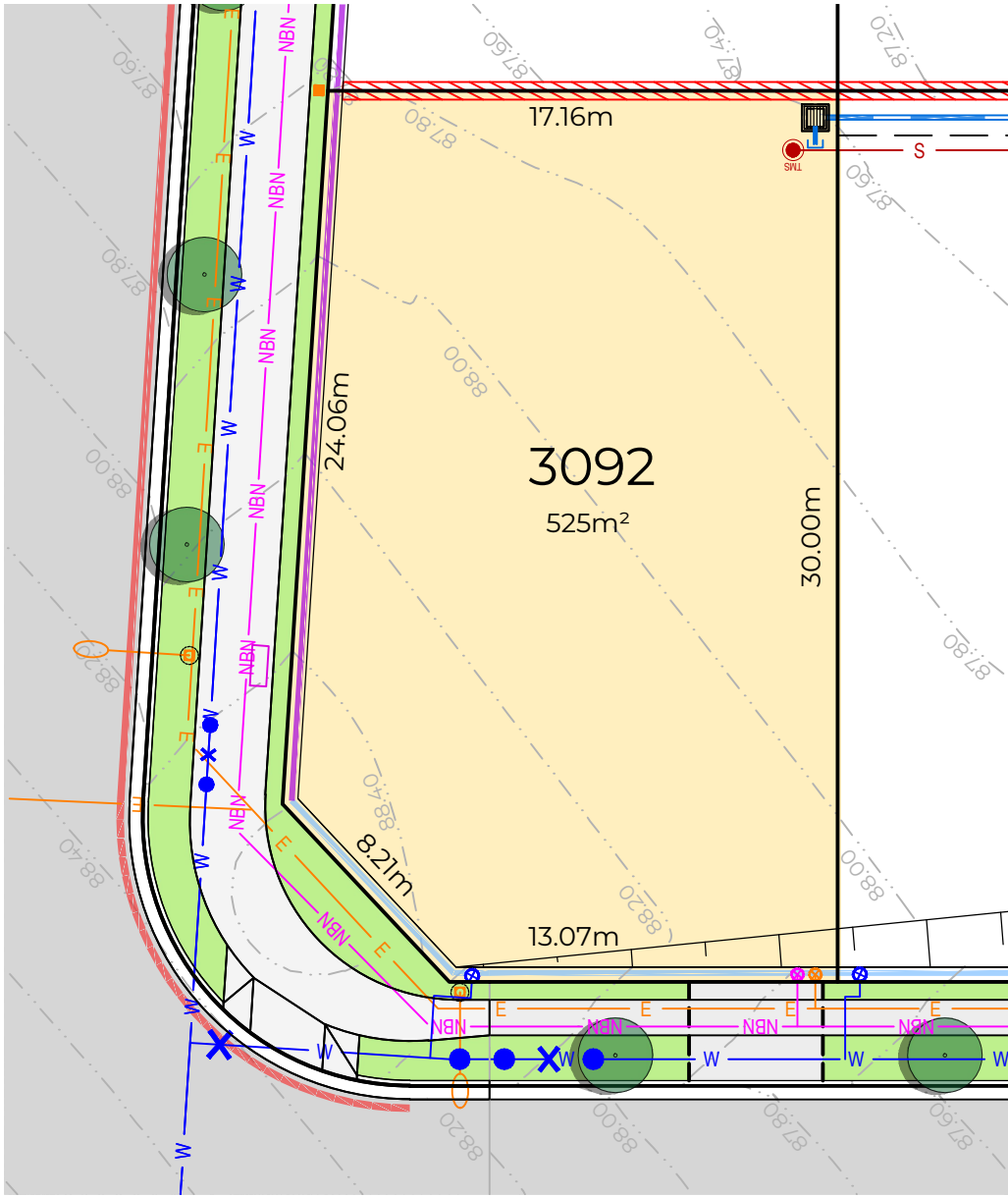
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Lot 3092

STAGE 03 | THE HILLTOP



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